

PREMIER BUILDERS, INC.
AGREEMENT BETWEEN CONTRACTOR AND OWNER

THIS AGREEMENT (“Agreement”) is dated this 28th day of July, 2020, By and between The Devon (“Owners”), and Premier Builders, Inc., a Delaware corporation, 2601 Annand Dr., Suite 21, Wilmington, Delaware 19808 (“Contractor”).

1. Scope of Work. Contractor agrees to furnish all labor (including subcontractors), services, equipment, materials and supervision necessary to perform the following work:
Reference plans CS and A101 dated 6/10/20 by Brandywine Design Guild.
Reference plans CS-1, ID-1.0, ID-1.1, ID-2.0, ID-2.1, ID-3.0, ID-4.0 and ID-5.0 all dated 06-15-20 by Donnelly Banks Interiors.

THIS AGREEMENT DOES NOT INCLUDE THE FOLLOWING:

All security camera work. All phone/data/computer wiring and connections.
Supply and installation of wall mural. We will install artwork.
Wall mirrors to be supplied by others. Premier Builders to install.
Supply of ladder and rail for Library. Premier Builders to install.
Supply and installation of furniture.

Phase 3 Floors 2 to 16 Corridors:

Ph. 3 Floors 2 to 16 Corridors for a total of 14 floors at \$32,000 per floor
Total for Phase 3 - \$ 448,000.00

Phase 3 Contract Amount. Subject to additions and deductions agreed to by the parties, the contract amount is Four hundred forty eight thousand dollars and zero cents. (\$ 448,000.00) payable in accordance with the following payment schedule:

a.	20% due upon signing of agreement	\$ 89,600.00
b.	30% due upon electrical installation	\$134,400.00
c.	30% due upon start of installation of flooring	\$134,400.00
d.	20 % due upon completion of scope of work	\$ 89,600.00

2. Owner will not withhold any amounts from periodic payments and no back charge shall be valid unless Contractor has been given written advance notice, has been allowed reasonable time to correct the deficiency, and has failed to do so. Any amount thereafter withheld shall be reasonably calculated to cover the anticipated liability and all remaining payment amounts not in dispute shall be promptly paid.
3. Contractor and all Contractor’s duly licensed subcontractors shall carry Commercial General Liability and Workers’ Compensation coverage throughout the performance of this Agreement, with liability insurance policy limits of at least \$1,000,000.00/\$2,000,000.00. A certificate of Insurance for the Contractor’s

policies will be provided by Contractor to Owner upon signing of this Agreement and upon each policy renewal, any change in insurers, and any change in coverages. Certificates of Insurance for each subcontractor will be provided to Owner prior to that subcontractor commencing work at The Devon.

4. **Changes in the Work.** Changes in the work shall be accomplished by written Change Order. No additional work will be commenced without written authorization from the Owner. Persons authorized to sign change orders are Theresa A. Morrissey and/or Laura Crean. An administrative fee of \$50.00 may be charged per change order. The full amount of the change order is due upon signing of the change order.
5. **Owner Provided Information.** The Owner shall finish surveys describing the physical characteristics, legal limitations and utility locations for the site of the Project. The Contractor is entitled to rely on the accuracy and completeness of the information furnished by the Owner. If Owner provides plans, specifications or other design documents, Contractor's examination of same is not specifically for the purpose of ascertaining that the documents are in accordance with applicable laws, statues, ordinances, building codes, and rules and regulations, or discovering errors, however, any non conformity discovered by or made known to the Contractor shall be reported promptly to the Owner in writing.
6. **Site Conditions.** Owner acknowledges that Contractor's inspection of the site, building and all improvements was limited to visual observation and that no destructive testing and inspection was conducted. The Contract Price does not include possible extra expense caused by hidden or unknown conditions of the site, buildings or improvements. Accordingly, if hidden or unknown conditions are encountered which increase the cost of performing the Work or time required to complete the Work, the Contract Amount and the Contract Time shall be adjusted through a Change Order. Hidden or unknown conditions shall include, but are not limited to, rock, buried items, underground springs, streams or utilities; inability to reuse existing air shafts, ducts, grilles, louvers and registers, relocating pipes, risers, wiring or conduits; and imperfections, rotting or decay in a part or structure of any improvement necessitating repair or replacement.
7. **Delivery of Products.** Owner agrees to accept delivery of any products to be used in the Work from the supplier or Contractor when the product is ready.
8. **Ordering of Products.** Owner understands that the products ordered for use in the Work are specially ordered for this Work and cannot be returned to the manufacturer or supplier if the Work or order is canceled. Owner further understands that Contractor orders the products needed for the Work immediately upon execution of this Agreement. Therefore, if products are ordered their monies are non-refundable if this Agreement is terminated for any reason.

9. Matching Existing Finishes. Contractor will endeavor to match existing finishes and materials. Contractor does not guarantee exact match of color or finish. Owner shall sign off on all selections prior to installation.
10. Warranty. Contractor warrants that the Work will be performed (i) in strict accordance with the plans and specifications, (ii) in compliance with all applicable City of Wilmington ordinances, (iii) in accordance with manufacturers' installation instructions to assure that all manufacturers' warranties on materials and components are preserved for the benefit of Owner, and (iv) in a workmanlike manner. The standard of care to which Contractor is held is that level of skill and competence ordinarily and contemporaneously demonstrated by general contractors working in the same locale and faced with the same or similar facts and circumstances. Materials shall be new and warranted by their manufacturer where applicable. The Contractor's warranty for defective materials and workmanship shall be for a period of one year from the date of substantial completion of the Work. Contractor's warranty excludes damage or defects caused by abuse, work or modifications not intended by Contractor, improper or insufficient maintenance, improper operation, normal wear and tear or normal usage. The Contractor's warranty and call back obligations are expressly limited to the cost of correcting the Work and exclude liability for any direct, indirect or consequential damages incurred by the Owner.
11. To the extent products, equipment, systems or materials incorporated in the Work are specified and purchased by the Owner, they shall be covered exclusively by the warranty of the manufacturer. There are no warranties which extend beyond the description on the face of any such warranty.

THE WARRANTIES CONTAINED HEREIN ARE IN LIEU
OF ALL OTHER WARRANTIES, EXPRESS OR IMPLIED,
INCLUDING ANY WARRANTIES OF MERCHANTABILITY,
HABITABILITY, OR FITNESS FOR A PARTICULAR USE
OR PURPOSE. THIS LIMITED WARRANTY EXCLUDES
CONSEQUENTIAL OR INCIDENTAL DAMAGES.
12. Indemnification. The Contractor shall indemnify and hold harmless Owner from and against claims, damages, losses and expenses, including reasonable attorney's fees, resulting from performance of the Work, by Contractor and/or any subcontractors provided that such claim, damage, loss or death, or injury to or destruction of tangible property (other than the Work itself), but only to the extent caused by the negligent acts or omissions of Contractor or any of its subcontractors.
13. Delay. Contractor shall be entitled to an extension in contract time resulting from any change of schedule, acceleration, out of sequence work or delay caused by others for whom Contractor is not responsible. Neither party shall be liable for any delays beyond its reasonable control including COVID-19 related delays.

14. Termination by Owner. Owner may terminate this Agreement within three (3) calendar days by providing the Contractor with a written and dated notice. In the event of any termination by the Owner, Contractor shall be entitled to payment from the Owner of all costs incurred by the Contractor for which the Contractor has not received payment, including, but not limited to profit on unperformed Work.
15. Hazardous Materials. It is understood and agreed that Contractor is not, and has no responsibility as, a handler, transporter or disposer of hazardous or toxic substances including asbestos, and that Owner shall undertake or arrange for the removal and disposal of hazardous substances or constituents found or identified at the site by Contractor. In the event that hazard or contaminated materials are encountered on the site, Contractor shall immediately suspend the Work in the affected area until the contaminated material has been rendered harmless by Owner.
16. Miscellaneous
 - a. Contractor may suspend any duty to perform under this Agreement if at any time any payment, reimbursement or costs are due and outstanding for a period of more than five calendar days from the due date. In the event of suspension, Owner agrees to reimburse Contractor for all increases in the cost of the Work caused by the suspension, including profit on the increased cost of performance and expenses related to demobilization and remobilization, if any.
 - b. Contractor may rely on the accuracy and thoroughness of any documents or information provided by Owner.
 - c. Upon written request from Contractor, Owner shall furnish evidence of Project financing prior to the commencement of Contractor's Work and promptly from time to time thereafter as Contractor may reasonably request.
 - d. Payments due and unpaid shall bear interest from the date payment is due at the rate of 1.5% per month.
 - e. In order to provide the parties a means of obtaining prompt, efficient and economical resolution of any dispute arising between them, the parties agree that any dispute between them shall be resolved solely through binding arbitration, by an arbitrator selected by the agreement of the parties; and, in the event of the parties' inability to agree on the identity of an arbitrator, the arbitrator shall be _____.
The time, place and rules governing the arbitration shall be as determined by the arbitrator; with any situation or contingency not provided for to be controlled by the Delaware Rapid Arbitration Act (25 Del. C. Chapter 58), without regard to Section 5803 (3) thereof which would otherwise deny an "organization" such as The Devon Association of Unit Owners access to its provisions. If both parties agree not to submit a particular dispute to binding arbitration, exclusive jurisdiction for all such disputes shall be the state and federal courts of Delaware. Owner expressly consents to

personal jurisdiction in Delaware. If Contractor opts for arbitration, all hearings will take place in Delaware.

- f. The Owner and Contractor, respectively, bind themselves, their partners, successors, assigns and legal representatives to all covenants of this Agreement. Neither the Owner nor the Contractor shall assign, sublet or transfer any interest in this Agreement without the written consent of the other. Consent for an assignment, sublet, or transfer of interest in this Agreement shall not constitute a waiver of the consent requirement for subsequent assignments, sublets or transfers of interest. This paragraph shall not prevent contractor from subcontracting any work hereunder.
- g. This Agreement represents the entire and integrated agreement between the Owner and the Contractor and supersedes all prior negotiations, representations or agreements, either written or oral. This Agreement may be amended only by written instrument signed by both Owner and Contractor.
- h. A failure by either party to assert a right under this Agreement shall not be construed as a waiver to assert that right or any other right at a later time.
- i. Under no circumstances shall Contractor be liable for liquidated or consequential damages. Consequential damages include, but are not limited to, loss of use, loss of income, lost of additional rent, loss or additional financing (including increased or extended finance charges), loss of business and reputation.
- j. This Agreement shall be interpreted using the laws of the State of Delaware, without regard to Delaware rules pertaining to conflict of laws.

15. Severability. All provisions and paragraphs of this Agreement are severable and, in the event that any provision or paragraph shall be declared or determined to be void or invalid for any reason, all remaining clauses or paragraphs of this Agreement shall be binding and effective. If any provision or paragraph shall be invalid only in matter of degree, the valid degree of such paragraph or provision shall be deemed to constitute the agreed provision hereunder.

IN WITNESS WHEREOF, the Owner and Contractor intending to be legally bound by the terms hereof, have affixed their signatures to this Agreement on the date first above written.

OWNER:

Customers signature date

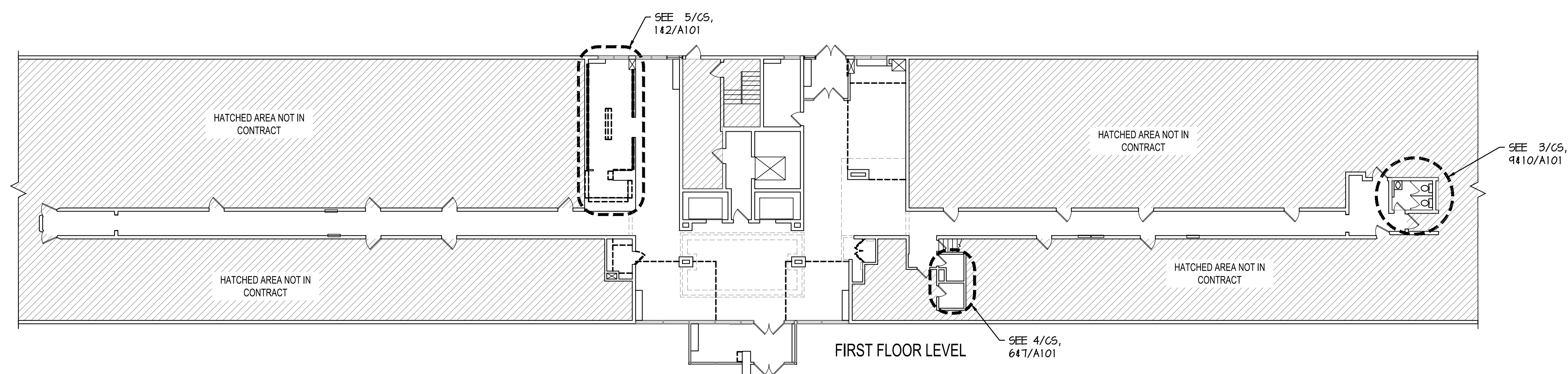
Customers signature date

CONTRACTOR:
Premier Builders, Inc.

Premier Builders Date

Title

TOILET AND MAIL ROOM IMPROVEMENTS THE DEVON CONDOMINIUMS



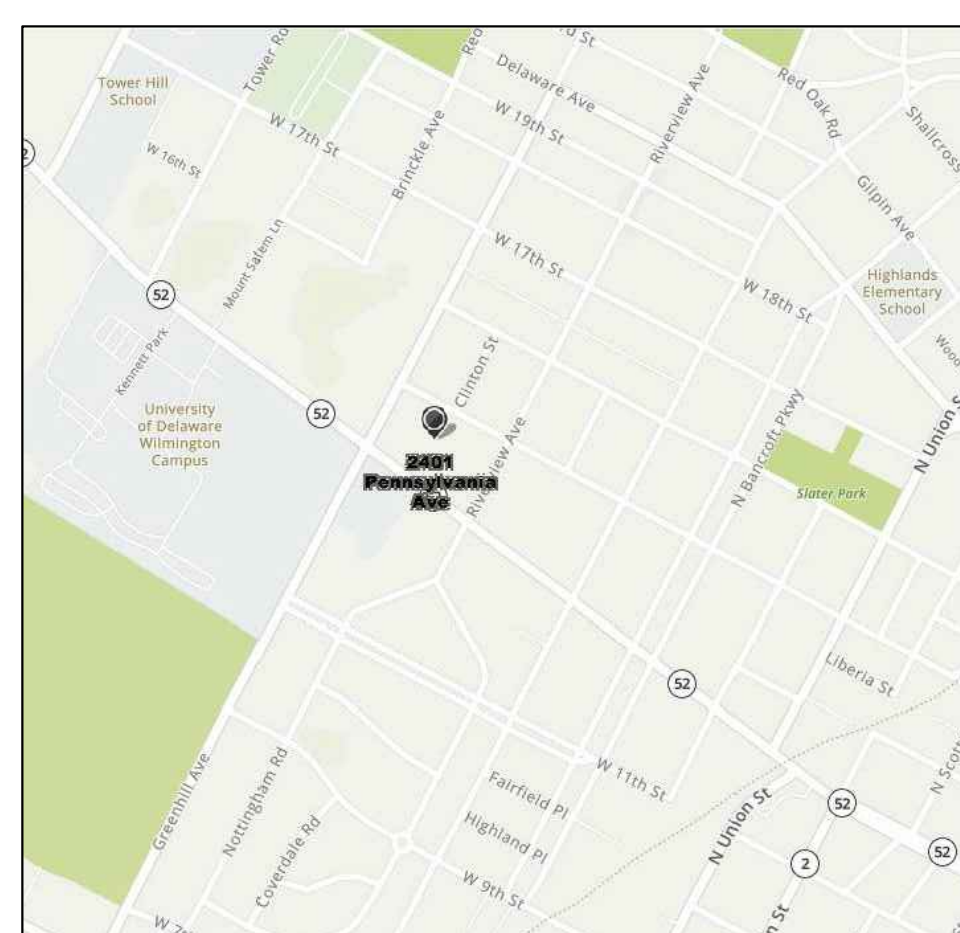
1 KEY PLAN/SCOPE OF WORK
1/16" = 1'-0"

PROJECT NARRATIVE: CLIENT PROPOSES TO MAKE A NUMBER OF IMPROVEMENTS TO TOILET ROOMS AND MAILROOM. THREE SMALL TOILET ROOMS CURRENTLY SERVE THE 1ST FLOOR STAFF OF 12-15 ONLY (INDIVIDUAL BUSINESS TENANT SPACES HAVE THEIR OWN TOILET FACILITIES). ONE OF THE TOILET ROOMS IS BEING UPGRADED TO BE ADA COMPLIANT. THE OTHER TWO SMALLEST TOILET ROOMS WILL RECEIVE NEW FINISHES ONLY. THE MAILROOM UPGRADES WILL INCLUDE REPLACEMENT OF THE EXISTING POSTAL BOXES WITH ADA/USPS COMPLIANT ASSEMBLIES ALONG WITH NEW FINISHES AND AND UPGRADED LIGHTING.

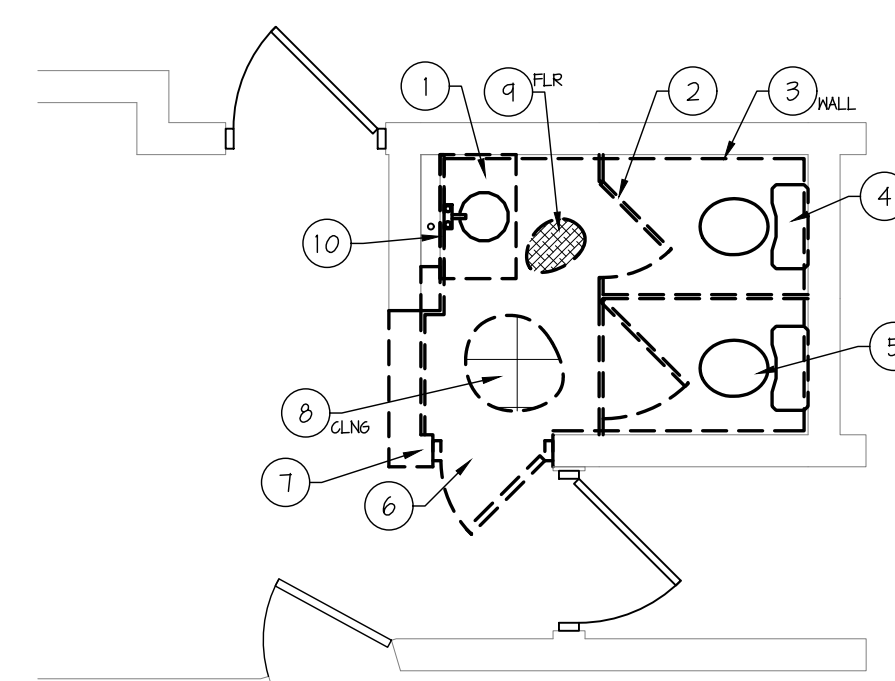
THE PROPOSED CHANGES DO NOT REPRESENT ANY CHANGE IN USE, AFFECT EGRESS ROUTES/LIFE SAFETY SYSTEMS OR INCREASE OCCUPANT LOADING TO ANY OF THE AFFECTED SPACES.

PERTINENT CODE REVIEW INFORMATION:

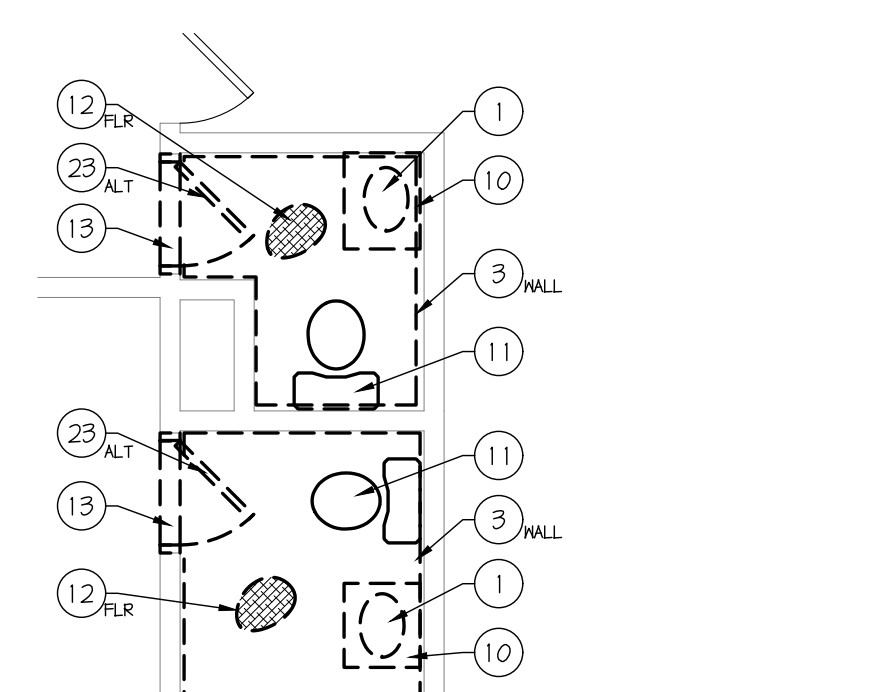
TAX PARCEL #: 2601220048
 ZONING: 26R5-B APT HOUSES MEDIUM DENSITY
 CONSTRUCTION TYPE: V-B
 USE GROUP: R-2
 SPRINKLER: NONE
 FIRE ALARM: YES - NFPA 72 COMPLIANT
 RELEVANT CODES: 2018 IBC, 2018 IPC, 2009 ICG/ANSI A117.1, 2015 D5FR



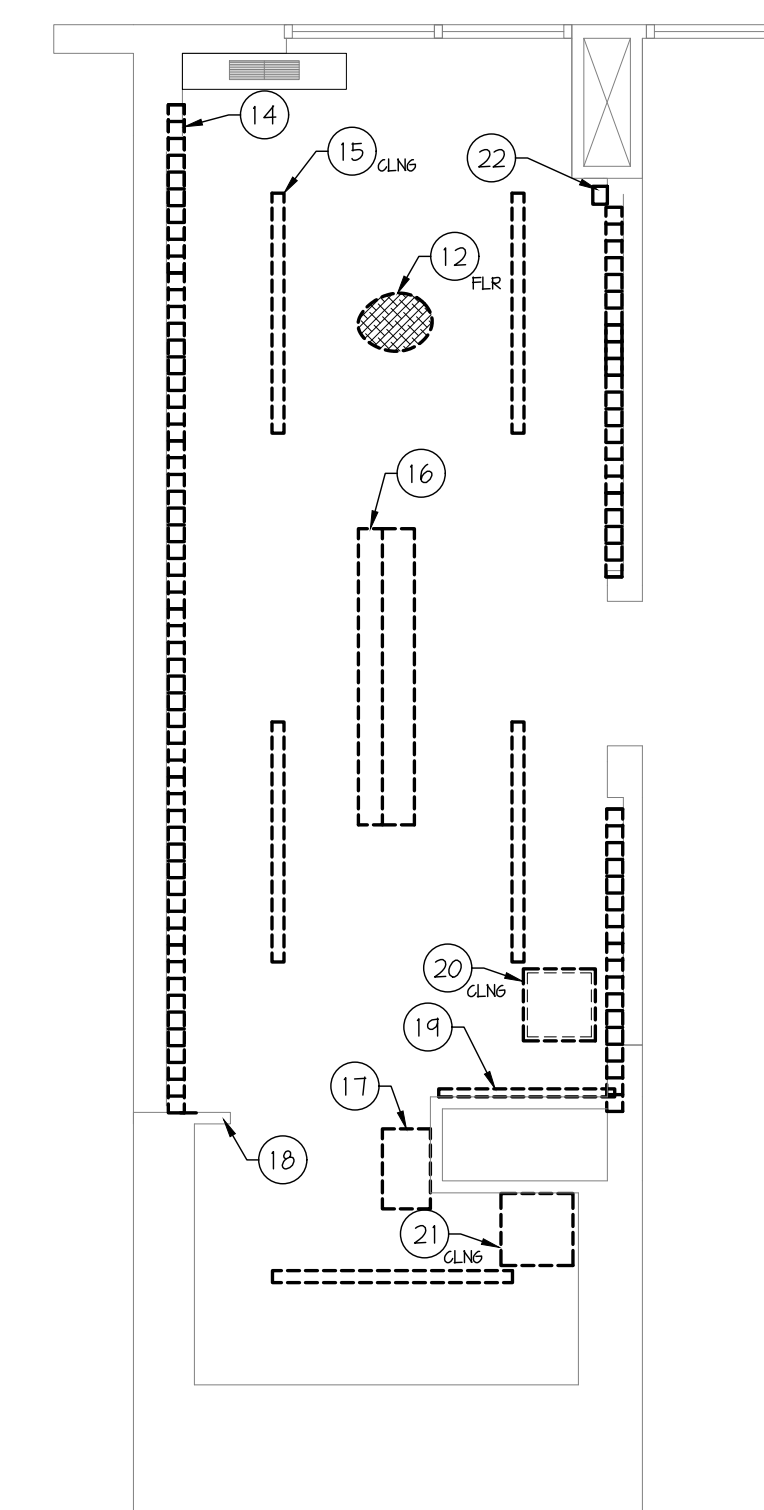
2 LOCATION MAP
NO SCALE



3 ADA TOILET DEMO PLAN
1/4" = 1'-0"



4 TOILET DEMO PLAN
1/4" = 1'-0"



5 MAILROOM DEMO PLAN
1/4" = 1'-0"

- DEMO NOTES:
- REMOVE EXISTING VANITY, SANITARY AND WATER SUPPLY LINES TO BE RE-USED.
 - REMOVE EXISTING PARTITIONS AND DOORS.
 - REMOVE ALL EXISTING WALL TILE. PATCH/REPAIR EXISTING PLASTER TO BE READY FOR NEW PAINT.
 - REMOVE EXISTING TOILET. REMOVE/ADJUST EXISTING SANITARY LINE AS NECESSARY FOR 18" ADA SIDEWALL OFFSET. PATCH FLOOR AS REQUIRED TO BE READY FOR NEW FINISHES.
 - REMOVE EXISTING TOILET. SAFE OFF SANITARY LINE AND WATER SUPPLY LINES WHICH WILL NO LONGER BE USED. PATCH FLOOR AS NECESSARY TO BE READY FOR NEW FINISHES.
 - REMOVE EXISTING DOOR AND FRAME.
 - REMOVE EXISTING WALLS WHERE INDICATED. PREP FOR NEW WALL AND DOOR.
 - REMOVE EXISTING CEILING TILES AND GRID. EXISTING HORN-STROBE TO BE PLACED IN NEW CEILING. CONFIRM PROPER OPERATION.
 - REMOVE EXISTING SHEETS/GOOD FLOORING AND ALL ADHESIVES. PREP AS REQUIRED FOR NEW LVT FLOORING.
 - REMOVE EXISTING WALL CABINET AND LIGHT FIXTURE. EXISTING WIRING WILL BE RE-USED FOR NEW WALL MOUNTED FIXTURE. PATCH/REPAIR FOR PAINT.
 - REMOVE EXISTING TOILET. SANITARY AND WATER SUPPLY LINES TO BE RE-USED FOR NEW TOILET.
 - EXISTING FLOOR TILE TO REMAIN. CLEAN AND PREP AS REQUIRED (FLASH-PATCH PREP) FOR NEW LVT FLOORING.
 - REMOVE EXISTING MARBLE THRESHOLD AND PREP FOR REPLACEMENT WITH NEW.
 - REMOVE EXISTING ALUMINUM MAILBOXES AND PREP OPENING FOR NEW. COORDINATE TEMPORARY SET-UP LOCATION FOR USE UNTIL NEW MAILBOX ASSEMBLIES ARE INSTALLED. ADD SILL-HEADER AS REQUIRED IN EXISTING WALL TO SUPPORT NEW MAILBOX ASSEMBLIES.
 - REMOVE EXISTING LINEAR LIGHTING IN CEILING. REPAIR CEILING AS MAY BE REQUIRED. JUNCTION BOXES TO REMAIN AND BE USED FOR NEW LIGHTING FIXTURES.
 - REMOVE EXISTING PARTITION WALL AND LEDGE. PATCH CEILING AS REQUIRED. PATCH/PREP FLOOR FOR NEW LVT FLOORING.
 - REMOVE EXISTING OUTGOING MAILBOX. COORDINATE TEMPORARY LOCATION WITH BUILDING OWNER UNTIL NEW OUTGOING MAILBOX IS INSTALLED.
 - DEMO SHORT WALL WHERE INDICATED. PREP FOR NEW END WALL.
 - REMOVE AND SALVAGE EXISTING WOOD DISPLAY CABINET. UNIT WILL BE RE-USED AND MOUNTED WITH LOCK TO RIGHT.
 - REMOVE EXISTING CEILING ACCESS PANEL AND INFILL TO MATCH EXISTING. PANEL CAN BE SALVAGED FOR RE-USE IN NEW LOCATION IF SERVICEABLE.
 - DEMO RO FOR 18X18 ACCESS PANEL. PROVIDE NEW MTL ACCESS PANEL IF SALVAGED UNIT IS NO LONGER SERVICEABLE.
 - REMOVE EXISTING T-STAT UNIT AND RELOCATED. FIELD COORDINATE NEW LOCATION WITH ARCHITECT.
 - ALTERNATE: REMOVE EXISTING DOOR AND FRAME. PREP AS REQ'D FOR NEW HW FRAME WITH FLUSH SOLID CORE PAINT GRADE HD DOOR.

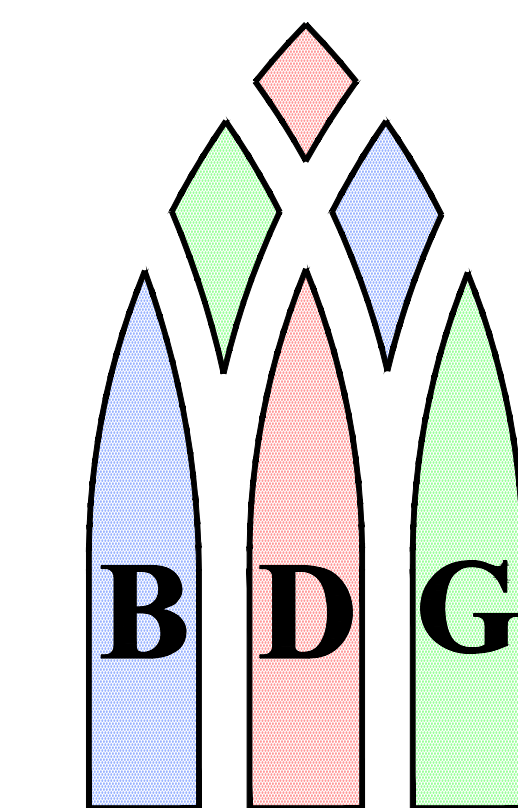


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General Notes

FOR PERMIT

No.	Revision/Issue	Date



BRANDYWINE DESIGN GUILD
5 MEADOW GLEN LANE
WILMINGTON, DE 19810

Client Name and Address:

THE DEVON
2401 PENNSYLVANIA AVENUE
WILMINGTON, DE 19806

Project Name and Address:

TOILET & MAILROOM IMPROVEMENTS
2401 PENNSYLVANIA AVENUE
WILMINGTON, DE 19806

Drawing Name:

COVER SHEET, DEMO PLANS, NOTES

Drawn By:

JAZ

Checked By:

CS

Project No.:

20017

Sheet No.:

05

Date:

6/10/20

Scale:

AS NOTED

PLOT DATE: 7/14/20

TYPICAL MATERIAL SYMBOLS

	BATT INSULATION		BRICK		GRAVEL, DRAINAGE STONE		STEEL
	WOOD BLOCKING		CONCRETE		STONE		GRASS
	CMU, MASONRY		GYPSUM WALL BOARD		RIGID INSULATION		FINISH WOOD
	STUD WALL		DEMO WALL		PLYWOOD		GLAZING
	EARTH		STUCCO				

OTHER SYMBOLS

	WINDOW LABEL
	DOOR LABEL
	FIXTURE LABEL
	TOILET ACCESSORY
	WALL TYPE ALL WATER WALL. SEE WALL TYPES TO WALL TO DETERMINE IF ROCK ABOVE X'-0". WALL TO INDICATED HEIGHT

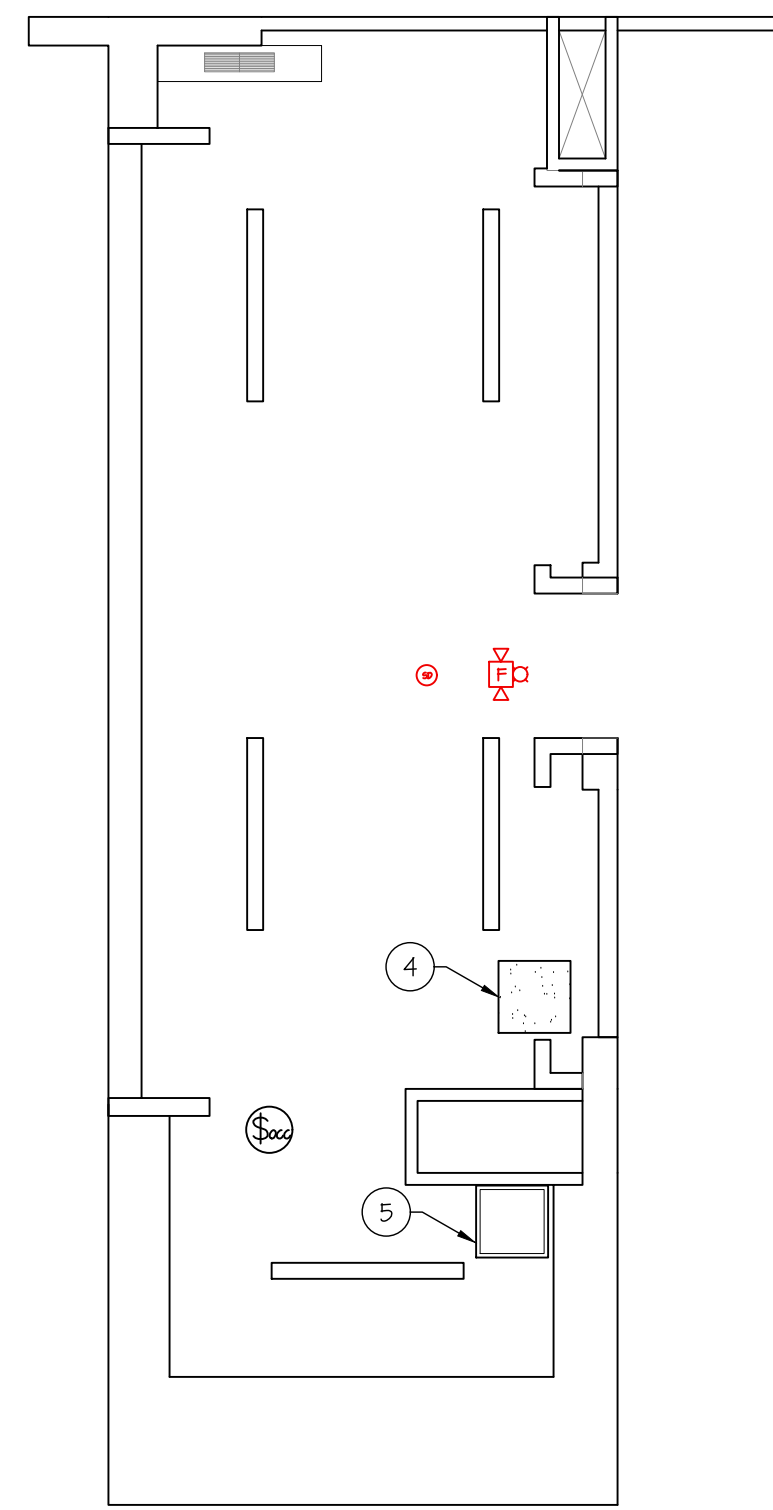
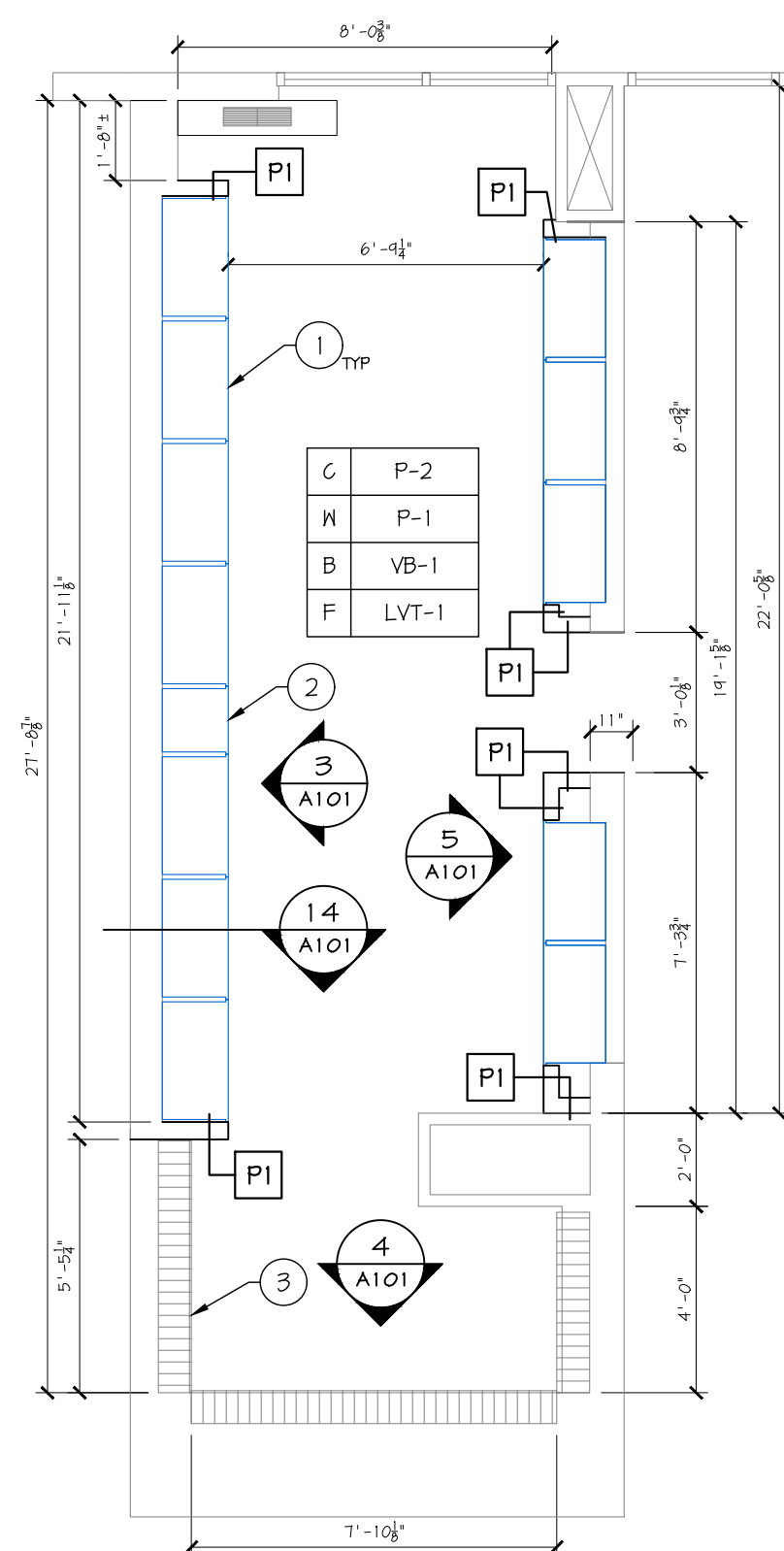
DRAWING INDEX:
 GS: COVER SHEET, DEMO PLANS, NOTES
 A101: PLANS, ELEVATIONS, DETAILS, SCHEDULES

GENERAL NOTES:

- ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE CURRENT BUILDING CODES AND REGULATIONS.
- FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS. REPORT ANY DISCREPANCIES BETWEEN CONTRACT DOCUMENTS AND FIELD MEASUREMENTS TO ARCHITECT IMMEDIATELY UPON DISCOVERY PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL BUILDING PERMITS AND LICENSES REQUIRED BY THE AUTHORITIES HAVING JURISDICTION (AHJ).
- CONTRACTOR IS RESPONSIBLE FOR ALL SHORING AS MAY BE REQUIRED DURING SELECTIVE DEMOLITION AND OTHER CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL PROVIDE ALL INSPECTIONS REQUIRED BY THE AHJ.
- ALL DIMENSIONS ARE TO THE FACE OF FINISHED MATERIALS UNLESS NOTED OTHERWISE.
- ALL CONSTRUCTION WASTE TO BE REMOVED FROM THE SITE ON A REGULAR BASIS AND DISPOSED OF IN ACCORDANCE WITH LOCAL REGULATIONS.
- ALL EQUIPMENT AND SYSTEMS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS UNLESS SPECIFICALLY INDICATED OTHERWISE OR WHERE LOCAL CODES TAKE PRECEDENCE.
- CONTRACTOR SHALL PROVIDE SUPERVISION WHILE SUB-CONTRACTORS ARE ON THE JOB SITE AND SHALL DIRECT AND COORDINATE ALL WORK.

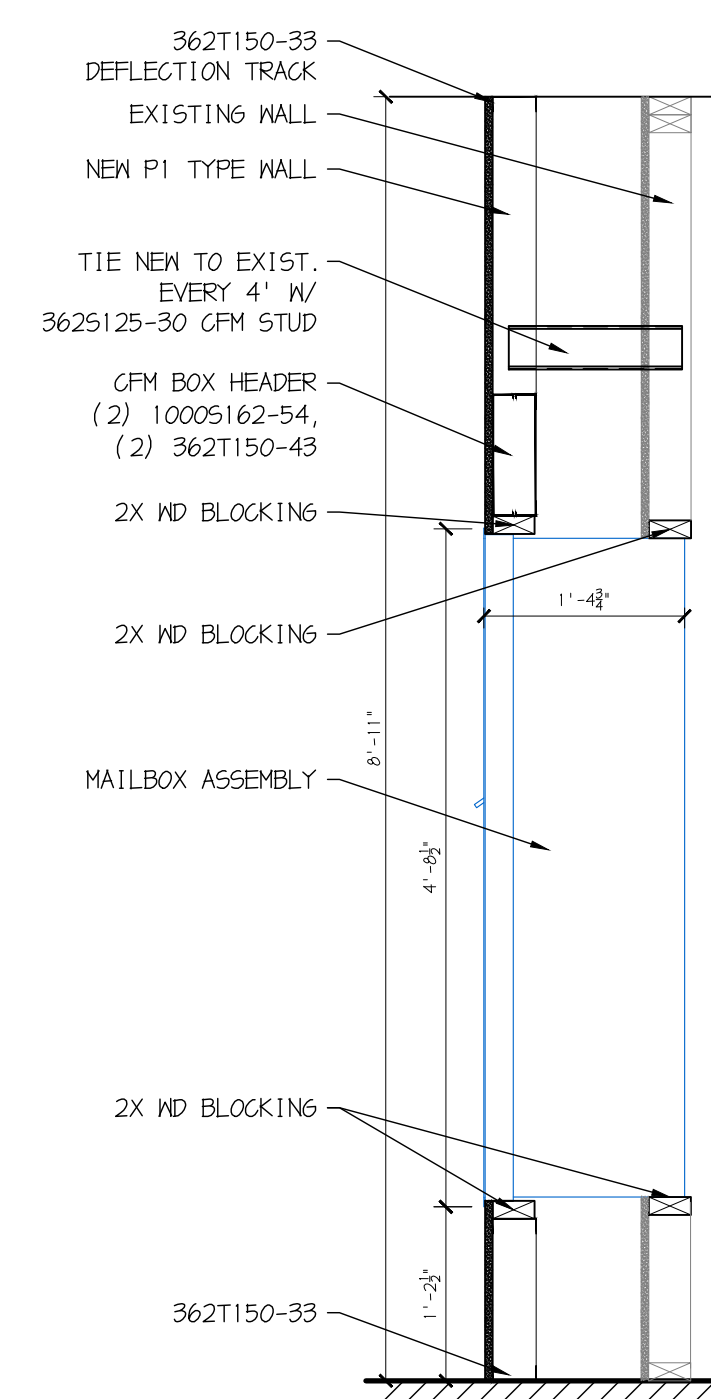
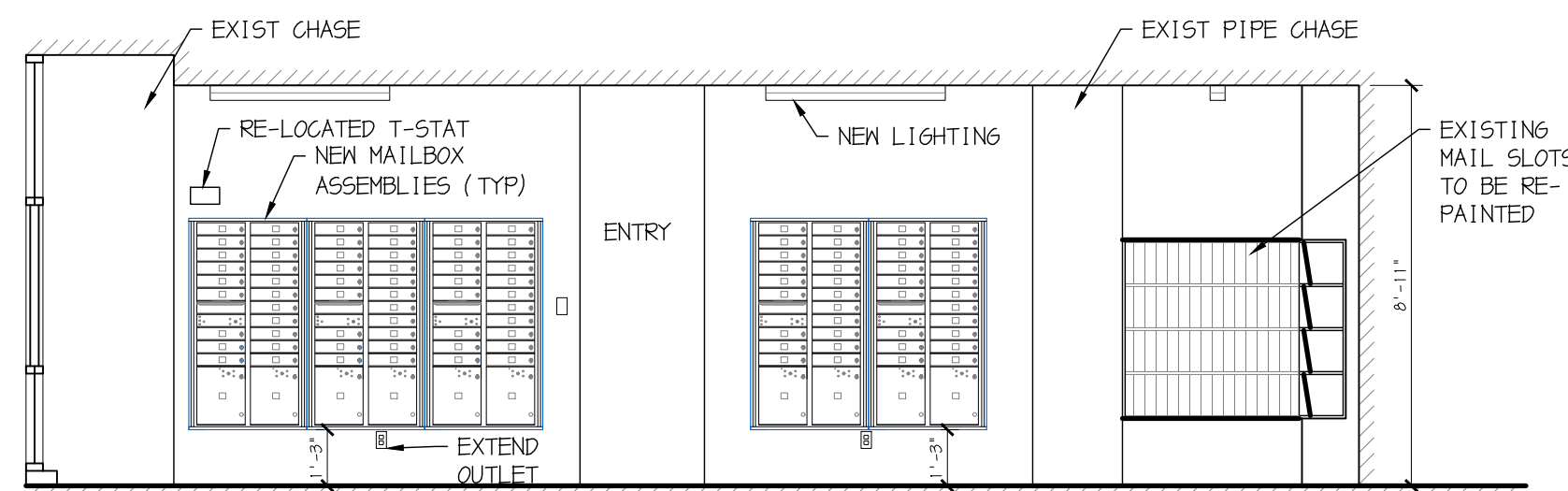
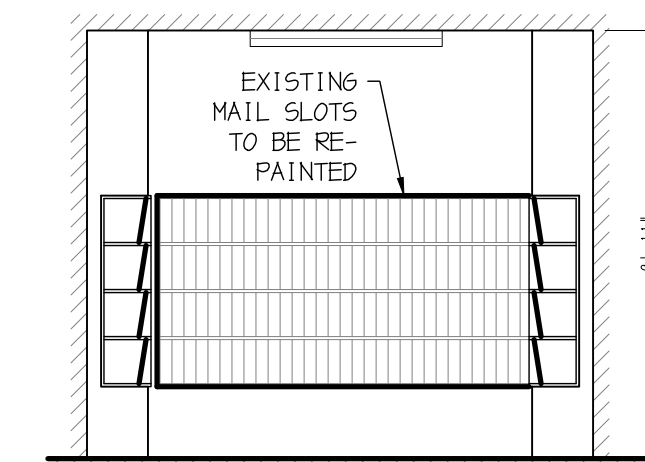
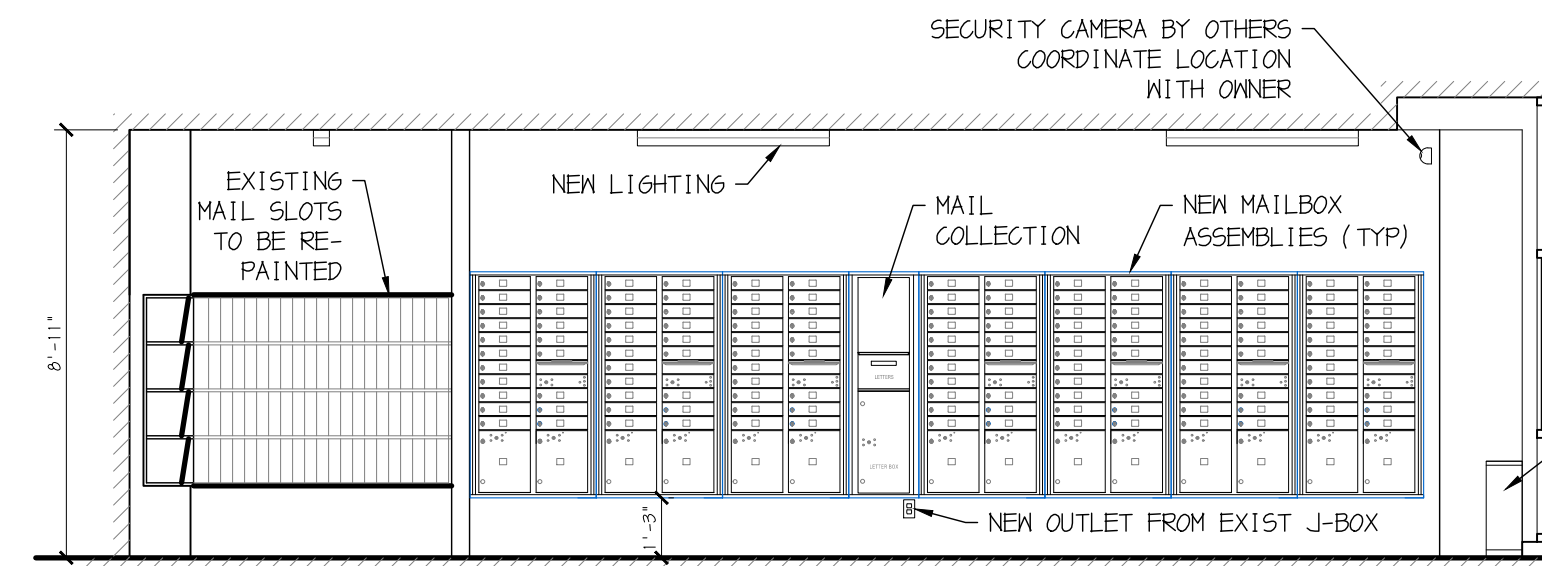
ABBREVIATIONS

ACP	ALUMINUM COMPOSITE PANEL	CPT	CARPET	FT	FOOT	LOG	LIMITS OF CONTRACT	PSI	POUNDS PER SQUARE INCH	STND	STAINED	MMF	MELDED WIRE FABRIC
A/C	AIR CONDITIONING	CK	CURTAIN WALL	FURN	FURNITURE	LT	LIGHT/LITE	PTD	PAINTED	STR/STRUCT	STRUCTURAL	MM	MELDED WIRE MESH
ADA	AMERICAN DISABILITIES ACT	CT	CERAMIC TILE	GA	GAUGE	MANUF	MANUFACTURER'S (S)	PVC	POLY VINYL CHLORIDE	STRFT	STOREFRONT		
AFF	ABOVE FINISHED FLOOR	D	DEPTH	GALV	GALVANIZED	MAS	MASONRY	QT	QUARRY TILE	SUSP	SUSPENDED		
ALT	ALTERNATE	DEPT	DEPARTMENT	GLS	GLASS	MAX	MAXIMUM	QTY	QUANTITY	TBD	TO BE DETERMINED		
ALUM	ALUMINUM	DIA	DIAMETER	GLZ	GLAZING	MECH	MECHANICAL	RAD	RADIUS	THRESH	THRESHOLD		
AP	ACOUSTICAL PANEL	DN	DOWN	GMB	GYPSON WALL BOARD	MIN	MINIMUM/MINUTE	REF	REFERENCE	TOF	TOP OF FOOTING		
AT	ACOUSTICAL TILE	DISP	DISPENSER	GP	GYPSON	MISC	MISCELLANEOUS	REIN	REINFORCING (ED)	TOPL	TOP OF PLATE		
BD	BOARD	DN	DOWN	H	HIGH	MTD	MOUNTED	REGO	REQUIRED	TOS	TOP OF STEEL		
BKR	BAKERS	DR	DOOR	HC	HOLLOW CORE	NA	N/A	RESIL	RESILIENT	TOPL	TOP OF SLAB		
BLDS	BUILDING	DS	DOWN SPOUT	HR	HEADER	NOT	NOT APPLICABLE	REV	REVISION	TRE	TREATED		
BOF	BOTTOM OF FOOTING	DTL	DETAIL	HCP	HANDICAP	NIC	NOT IN CONTRACT	RF	ROUGH FLOOR	TYP	TYPICAL		
BM	BEAM	DWG	DRAWING	HW	HOLLOW METAL	NO	NUMBER	RO	ROUGH OPENING	VCB	VINYL COMPOSITION BASE		
BT	BOTTOM	EK	EACH	HM	HOLLOW METAL	NOM	NOMINAL	RUB	RUBBER	VCT	VINYL COMPOSITION TILE		
BR	BRUSHED	EL	ELEVATION	HMF	HOLLOW METAL FRAME	NTS	NOT TO SCALE	SIM	SIMILAR	VERT	VERTICAL		
BSMT	BASEMENT	ELECT	ELECTRIC	HT	HORIZONTAL	OA	OVERALL	SA	SOUND ATTENUATION	VIF	VERIFY IN FIELD		
BW	BETWEEN	EQ	EQUAL	INT	INTERIOR	OC	ON CENTER	SCHED	SCHEDULE	VNR	VENEER		
CL	CENTER LINE	EQUIP	EQUIPMENT	ID	INSIDE DIAMETER	OD	OUTSIDE DIAMETER	SEC	SECTION	VSG	VINYL SHEET GOODS		
CLS	CEILING	EX/EXIST	EXPOSED	INS	INSULATION	OPT	OPTIONAL	SF	SQUARE FOOT	VWC	VINYL WALL COVERING		
CLOS	CLOSET	EXP	EXPOSED	INT	INTERIOR	PL	PLATE	SHT	SHEET	W	WIDTH/WIDE		
CM	CONSTRUCTION MANAGER	EKT	EXTERIOR	INTM	INTERMEDIATE	PLM	PLUMB	SIM	SIMILAR TO	W	WIDTH/WIDE		
CMU	CONCRETE MASONRY UNIT	FF	FINISHED FLOOR	INT	INTERIOR	PLM	PLUMBING/PLUMB	SPEC	SPECIFICATION	N/O	NIT/NOT		
COL	COLUMN	FIN	FINISHED	JAM	JAM	PLY	PLYWOOD	SQ	SQUARE	NG	NATURAL		
CONST	CONSTRUCTION	FL	FLOOR	L	LONG	PS	PAIR	SS	STAINLESS STEEL	ND	NATURAL		
CONC	CONCRETE	FR	FIRE RATED	LIN	LINEAL/LINEAR	PSF	POUNDS PER SQUARE FOOT	STD	STANDARD	NIN	NATURAL		
CONT	CONTINUOUS	FR	FIRE RATED	LSH	LINOLEUM SHEET	PSF	POUNDS PER SQUARE FOOT	STL	STEEL	NT	NATURAL		



- NEW CONSTRUCTION NOTES:
1. NEW MAILBOX ASSEMBLIES, BOD, FINISHES 40160-14 W/ADDITIONAL TENANT DOOR UNDER MASTER LOCK (TYP) (2)
 2. NEW MAIL COLLECTION BOX, BOD, FINISHES 40160-14 W/ADDITIONAL TENANT DOOR UNDER MASTER LOCK (TYP) (2)
 3. EXISTING MAIL SLOTS REMAIN AND GET PRIMED/PAINTED
 4. PATCH CEILING WHERE ACCESS PANEL WAS REMOVED TO MATCH EXISTING ADJACENT
 5. INSTALL 18X18 ACCESS PANEL CAN RE-USE SALVAGED UNIT IF SERVICEABLE. VERIFY WITH ARCHITECT.
 6. NEW MARBLE THRESHOLD
 7. RELOCATE EXISTING LIGHT SWITCH
 8. INSTALL NEW 3'-0\"/>

DOORS: 4 FRAMES BOD
 FRAMES: 166A KD DOORS: FLUSH SOLID CORE PAINT GRADE, HARDWARE: BUILDING STANDARD MFR FOR HINGES, LEVER LOCKSETS AND CLOSERS. TOILET ROOMS TO HAVE PRIVACY (F76) FUNCTION.



1 MAILROOM PLAN 1/4\"/>

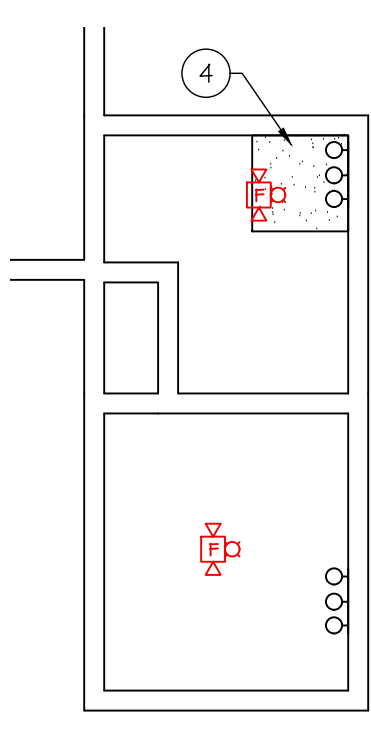
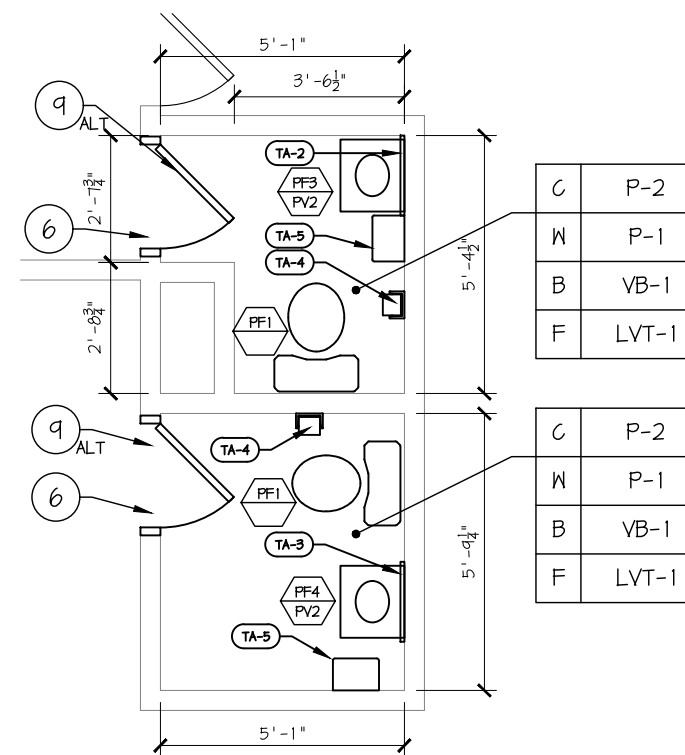
2 MAILROOM RCP 1/4\"/>

3 MAILROOM ELEVATION 1/4\"/>

4 MAILROOM ELEVATION 1/4\"/>

5 MAILROOM ELEVATION 1/4\"/>

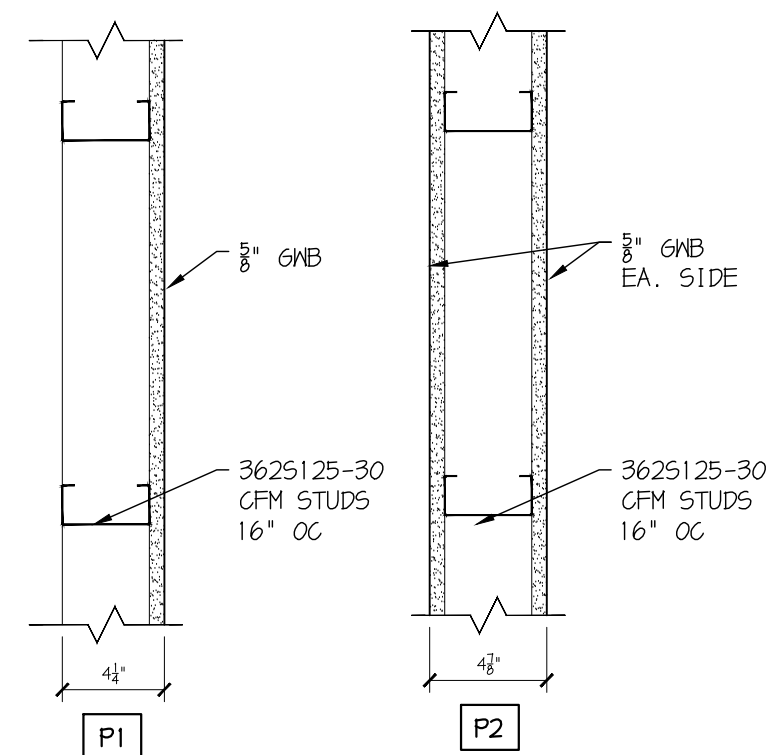
1.4 SECTION AT MAILBOXES 3/4\"/>



CEILING & LIFE SAFETY DEVICES

- EXIT SIGN (VIEW FACE SHAPED)
- EMERGENCY LIGHT
- EMERGENCY LIGHT/EXIT SIGN COMBO
- EMERGENCY LIGHT - SINGLE REMOTE
- ALONG MOUNTED OCCUPANCY SENSOR
- SYLVANIA LEDVANCE EDGE LIT PANEL PANEL 1A 032 UNV D Ø 35/22 6/WH/...
- ALCON LIGHTING MODEL 12200-4-5-4-35K-...-PS GENERATION LIGHTING 0000 6L4413402ENB05

- HORN/STROBE
- HORN ONLY
- STROBE ONLY
- PULL STATION
- SMOKE DETECTOR - WALL MOUNT
- SMOKE DETECTOR - CEILING MOUNT
- FIRE ALARM CONTROL PANEL
- FIRE ALARM ANNUNCIATOR PANEL



8 WALL TYPES 1-1/2\"/>

LEGEND:

ACT-1	← CEILING FINISH
P-1	← WALL FINISH
WB-1	← WALL BASE
CPT-1	← FLOOR FINISH

FINISH LEGEND

MARK	DESCRIPTION	NOTES
GENERAL		
EXIST	EXISTING FINISH TO REMAIN	
CEILING		
ACT-1	ARMSTRONG DUNE SQUARE EDGE 2X2 ON 1516\"/>	
WALLS		
P-1	SHERWIN WILLIAMS, SW6071 POPULAR GRAY, SEMI GLOSS	WALLS, 1
P-2	SHERWIN WILLIAMS, SW7009 PEARLY WHIYE, FLAT	CEILINGS
WALL BASE		
WB-1	ROPPE 6\"/>	
FLOOR		
LVT-1	SHAW CONTRACT, SOLITUDE 0648V - COLOR MINK 48720, 6\"/>	
MISC		

FINISH NOTES:
 1 - ALL DOORS AND FRAMES TO BE PRIMED AND PAINTED W/ P-1

PLUMBING FIXTURES

LABEL	DESCRIPTION	MODEL	MANUFACTURER	COLOR	OPTIONS	NOTES	COMMENTS
PF-1	ADA TOILET	CHAPION 4	AMERICAN STANDARD	WHITE	INCLUDE SEAT		FLUSH HANDLE TOWARD OPEN AREA
PF-2	ADA LAV	LUCERNE	AMERICAN STANDARD	WHITE		1	
PF-3	LAV/VANITY	SINK: S-11018W1; VANITY: 1510-V1816A	FAIRMONT DESIGNS	SINK: WHITE; VANITY: GRAY			
PF-4	LAV/VANITY	SINK: TC-2522W1; VANITY: 1510-V24A	FAIRMONT DESIGNS	SINK: WHITE; VANITY: GRAY			

PLUMBING VALVES & FITTINGS

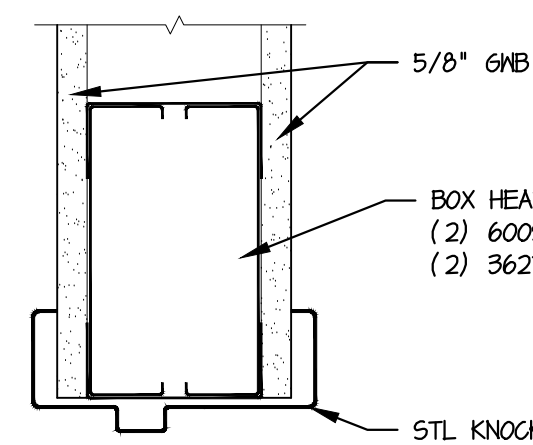
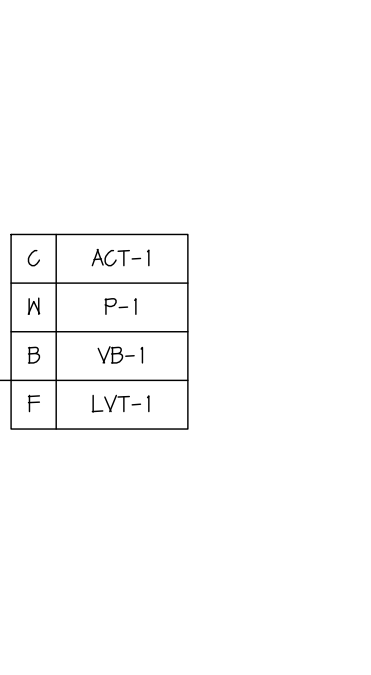
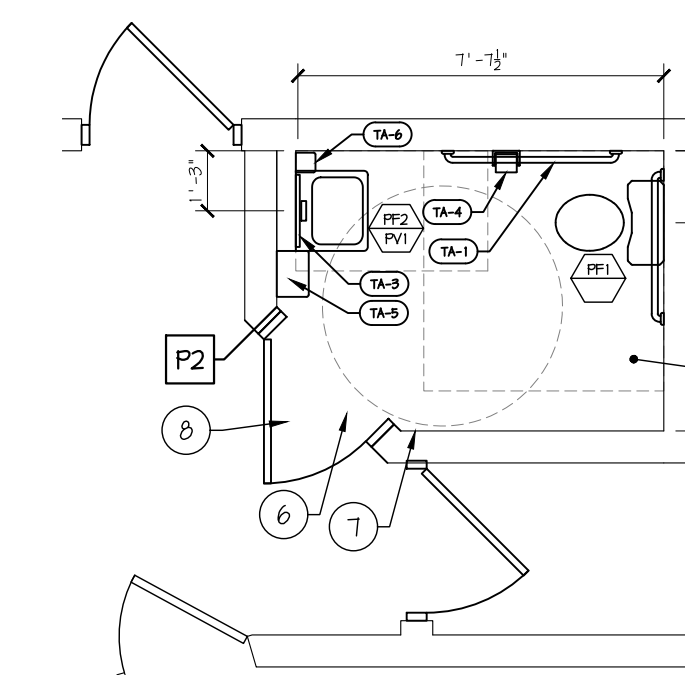
LABEL	DESCRIPTION	MODEL	MANUFACTURER	MATERIAL	OPTIONS	NOTES	COMMENTS
PV-1	ADA LAV FAUCET	ADLER	MOEN	BRUSHED NICKEL	INCLUDE DRAIN		
PV-2	LAVATORY FAUCET	SHWSCBE100CP	FERGUSON	CHROME/BRASS	INCLUDE DRAIN		

TOILET ACCESSORIES AND FURNITURE

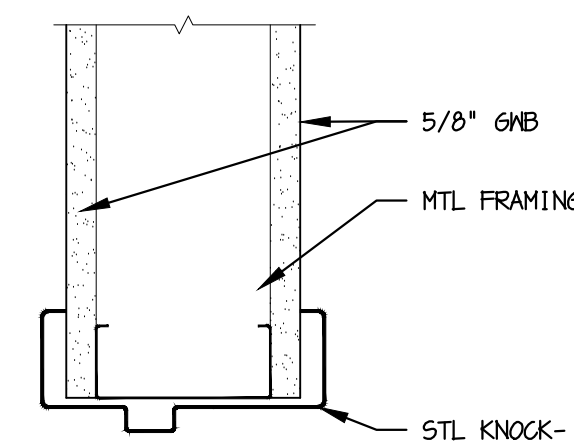
LABEL	DESCRIPTION	MODEL	MANUFACTURER	MATERIAL	OPTIONS	NOTES	COMMENTS
TA-1	ADA GRAB BARS	B-6806	BOBRICK	SS #4 FINISH			SEE 13/A101 FOR SIZES/LOCATIONS
TA-2	MIRROR	1510-M20	FAIRMONT DESIGNS	GRAY WOOD			
TA-3	MIRROR	1510-M24	FAIRMONT DESIGNS	GRAY WOOD			
TA-4	TOILET TISSUE DISPENSER	R3500TBK	SAN JAMAR	BLACK ABS			
TA-5	PAPER TOWEL DISPENSER	T7400TBK	SAN JAMAR	BLACK ABS			
TA-6	SOAP DISPENSER	S900TBK	SAN JAMAR	BLACK ABS			

NOTES:
 1 - PROVIDE WATTS 462 WALL MOUNTED CONCEALED ARM CARRIER WITH BACK PLATE OR APPROVED EQUAL

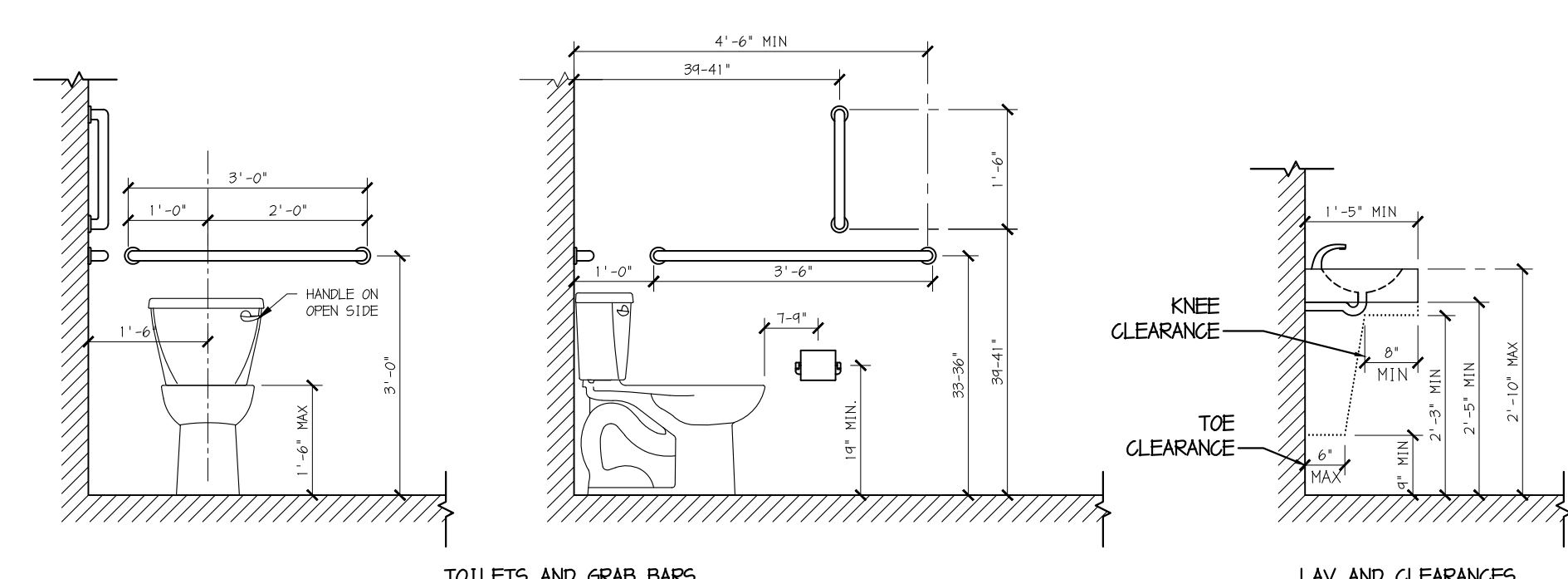
GENERAL:
 - SEE TOILET ACCESSORY MOUNTING INSTRUCTIONS FOR ADA MOUNTING HEIGHTS
 - INSTALL SOLID BLOCKING AT ALL FIXTURE MOUNTING LOCATIONS ON FRAMED WALLS
 - PROVIDE ANTI-SCADLING COVERS OVER ALL WATER/DRAIN LINES BENEATH OPEN COUNTERS
 - COORDINATE MOUNTING LOCATIONS WITH ARCHITECT. DO NOT INTERFERE WITH ADA FIXTURE LOCATIONS



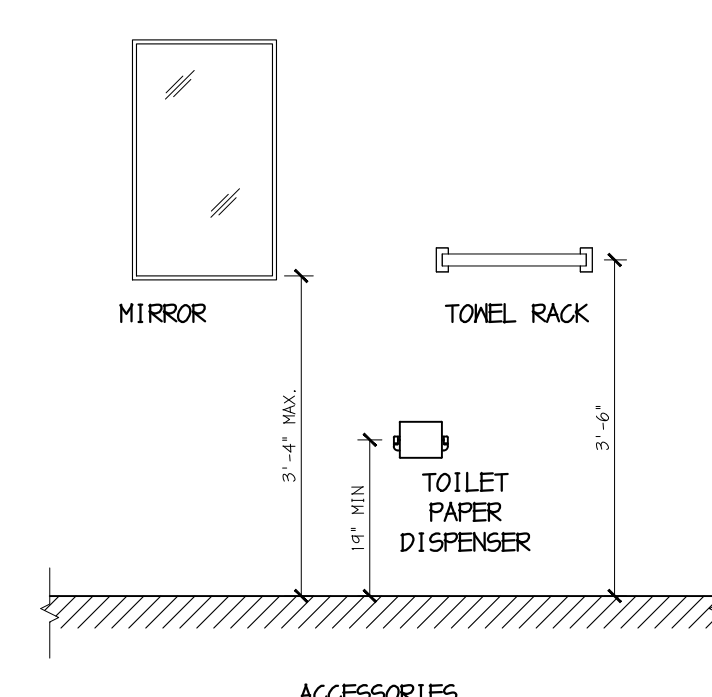
11 TYP DOOR HEAD 3\"/>



12 TYP DOOR JAMB 3\"/>



13 ADA MOUNTING HEIGHTS 1/2\"/>



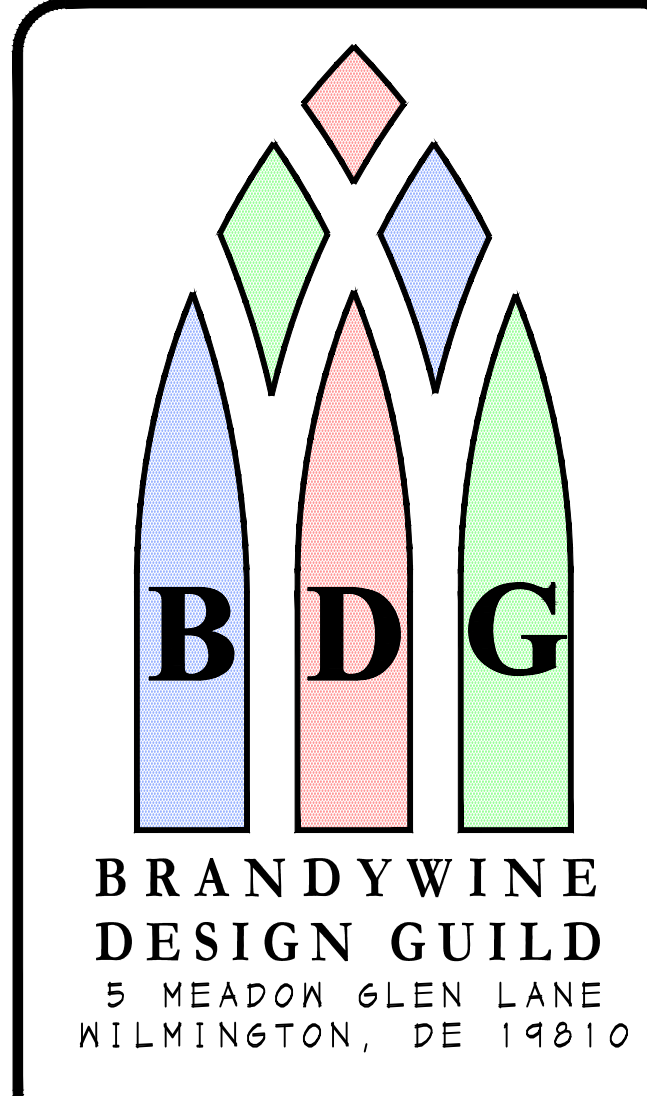
ACCESSORIES



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General Notes

No.	Revision/Issue	Date



Client Name and Address:
 THE DEVON
 2401 PENNSYLVANIA AVENUE
 WILMINGTON, DE 19806
 --

Project Name and Address:
 TOILET & MAILROOM IMPROVEMENTS
 2401 PENNSYLVANIA AVENUE
 WILMINGTON, DE 19806
 --

Drawing Name:
 PLANS, ELEVATIONS, DETAILS

Drawn By:
 JAZ

Checked By:
 A101

Project No:
 20017

Sheet No:
 A101

Date:
 6/10/20

Scale:
 AS NOTED

PLOT DATE: 7/14/20

SEAL:



PERMIT SET

THE DEVON CONDOMINIUMS
LOBBY RENOVATION &
2ND FLOOR CORRIDOR TYPICAL

2401 Pennsylvania Avenue
Wilmington, DE 19806

PROJECT:

CLIENT:

SUBMITTAL:

NO.	REVISION	DATE:
3	WALL TYP ADISSUED FOR PERMIT	07-15-20
1	ISSUED FOR OWNER FOR BID	06-15-20

DATE: 06-15-20
DATE ISSUED: 07-15-20
DRAWN BY: JDB
CHECKED BY: JDB
SCALE: AS NOTED

PROJECT NUMBER: DVNo40120-1

DRAWING TITLE:
**EXISTING/DEMO
REFLECTED CEILING
PLANS**

SHEET NUMBER:
ID-1.1

PLANS ARE INTENDED FOR CONCEPTUAL PURPOSES ONLY. GC TO FIELD VERIFY DIMENSIONS; NOT FOR CONSTRUCTION

DEMO LEGEND

--- DEMO
--- EXISTING TO REMAIN
EX O EXISTING RECESSED CAN LOCATION
NOT IN SCOPE

DEMOLITION GENERAL NOTES

- ALL EXISTING STONE WALLS TO REMAIN. PROTECT DURING COURSE OF CONSTRUCTION.
- ALL EXISTING WOOD BASE & CROWN TO REMAIN WHERE POSSIBLE UNO (EXCEPTION: AT PROPOSED DECORATIVE PANEL LOCATIONS). GC TO ADVISE IF NEW SHOE TRIM OR QUARTER ROUND AT EXISTING WOOD WALL BASE IS REQUIRED IN LOBBY.
- ALL EXISTING HVAC SUPPLY RETURNS TO REMAIN UNLESS OTHERWISE SPECIFIED BY CLIENT. GRILLES/VENTS TO BE CLEANED DURING COURSE OF CEILING WORK.
- FIRE PROTECTION DEVICES, SPRINKLER LOCATIONS & EMERGENCY LIGHTING LOCATIONS TO REMAIN OR UNLESS CODE REQUIRES OTHERWISE OR NOTED OTHERWISE, PROTECT DURING COURSE OF CONSTRUCTION.
- BUILDING OWNER IS RESPONSIBLE FOR ASBESTOS REVIEW WITH LOCAL MUNICIPALITY FOR ANY FINISH ITEMS TO BE REMOVED IN SCOPE OF WORK.
- GC TO REMOVE AND SAFE OFF ANY ABANDONED ELECTRICAL OR DATA DEVICES BACK TO JUNCTION BOX OR PANEL.
- GC TO PRICE 1ST FLOOR LOBBY AND TYPICAL UPPER FLOOR SEPARATE. UPPER FLOOR(S) SCOPE OF WORK WILL BE PHASED ON A PER FLOOR BASIS & BUDGETS.
- EXISTING OUTLETS TO REMAIN UNLESS NOTED OTHERWISE AND TESTED FOR FUNCTION. REPLACE WHERE NECESSARY. EXCEPTION: REPLACE ALMOND OUTLETS AT DECORATIVE WALL PANEL LOCATIONS WITH BLACK DEVICES. FACEPLATES TO BE PAINTED TO MATCH PANELS.

GENERAL CONSTRUCTION NOTES:

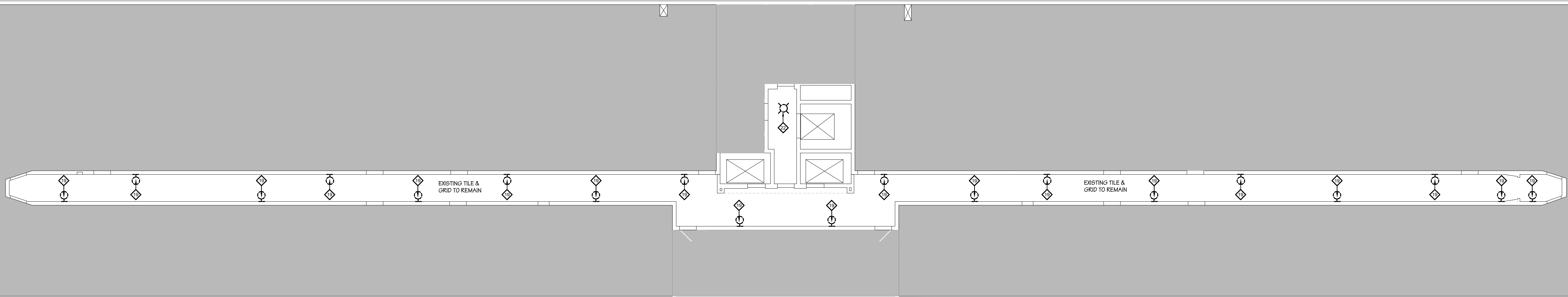
- ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE CURRENT BUILDING CODES AND REGULATIONS.
- FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS. REPORT ANY DISCREPANCIES BETWEEN CONTRACT DOCUMENTS AND FIELD MEASUREMENTS TO DESIGNER IMMEDIATELY UPON DISCOVERY PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL BUILDING PERMITS AND LICENSES REQUIRED BY THE AHJ IF REQUIRED.
- CONTRACTOR IS RESPONSIBLE FOR ALL SHORING AND PROTECTION OF EXISTING ITEMS TO REMAIN OR RETAIN FOR REUSE AS MAY BE REQUIRED DURING SELECTIVE DEMOLITION AND OTHER CONSTRUCTION ACTIVITIES.
- CONTRACTOR RESPONSIBLE FOR SECURE STORAGE OF ALL FIXTURES TO BE RE-USED DURING THE COURSE OF CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE ALL INSPECTIONS REQUIRED BY THE AHJ.
- ALL DIMENSIONS ARE TO THE FACE OF FINISHED MATERIALS UNLESS NOTED OTHERWISE.
- ALL CONSTRUCTION WASTE TO BE REMOVED FROM THE SITE ON A REGULAR BASIS AND DISPOSED OF IN ACCORDANCE WITH LOCAL REGULATIONS.
- ALL EQUIPMENT AND SYSTEMS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS UNLESS SPECIFICALLY INDICATED OTHERWISE OR WHERE LOCAL CODES TAKE PRECEDENCE.
- CONTRACTOR SHALL PROVIDE SUPERVISION WHILE SUB-CONTRACTORS ARE ON THE JOB SITE AND SHALL DIRECT AND COORDINATE ALL WORK.

GENERAL DEMOLITION WORK NOTES

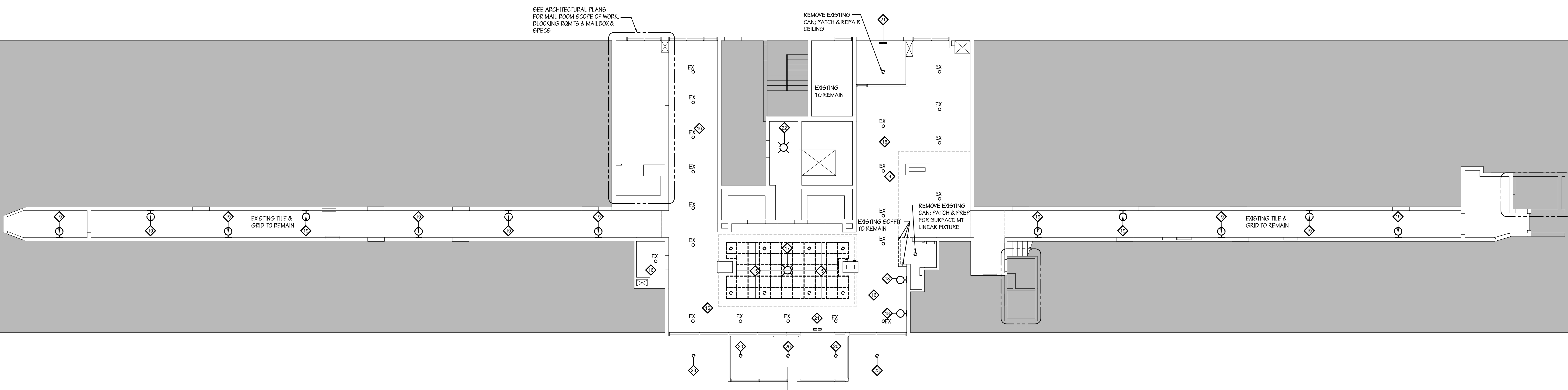
- REMOVE CLOSET DOORS AND DOOR FRAME.
- REMOVE CARPET. PREP AS REQUIRED FOR NEW CARPET PER FINISH PLANS. ANY WOOD BASE TO REMAIN (EXCEPTION: AT NEW DECORATIVE WOOD WALL PANEL LOCATIONS IN LOBBY)
- REMOVE EXISTING FLOORING AND PREP FOR LVT AS PER FINISH PLANS. GC TO PROVIDE PAINTED SHOE MOLDING IF NEEDED TO FILL GAP.
- REMOVE ALL WALL HUNG FIXTURES (WINDOW TREATMENT BRACKETS, ART, TAPESTRY, HDNR, WALL MTD BOARDS ETC) PATCH & REPAIR EXISTING FINISH ON ALL WALLS TO IN KIND.
- REMOVE INTERIOR DOOR WHERE INDICATED & PREP FOR NEW FT GRADE FULL LITE CLEAR GLASS DOOR REPLACEMENT.
- REMOVE EXISTING VINYL WALLCOVERING IN UPPER FLOOR ELEVATOR LOBBIES AND PREP FOR NEW ACCENT WALLCOVERING ABOVE CHAIR RAIL PER FINISH PLAN.
- REMOVE ANY EXISTING VINYL WALL BASE & REPLACE WITH NEW VINYL BASE VB-1.
- REMOVE EXISTING WINDOW TREATMENTS & HARDWARE; DISCARD.
- REMOVE EXISTING LAMINATE WALL PANELS IN ELEVATOR CABS AND RE-LAMINATE PER FINISH PLAN. GC TO PROVIDE PRICE OPTION AS SEPARATE LINE ITEM.
- PREP DESIGNATED WALL AREA FOR DECO WALL PANELS PER ELEVATIONS PROVIDED. EXISTING 4 1/2" CROWN TO BE MODIFIED IN FIELD TO ACCOMMODATE ADDED DECORATIVE PANELS. EXISTING WOOD BASE TO BE REMOVED AT DECORATIVE PANELING LOCATIONS. NEW SHOE MOLDING WHERE DAMAGED OR REQUIRED BY NEW FLOORING. ALL NEW WOOD PANELS AND TRIM TO BE PAINTED PER FINISH PLAN.

REFLECTED CEILING PLAN DEMOLITION WORK NOTES (REFER TO DWG ID-1)

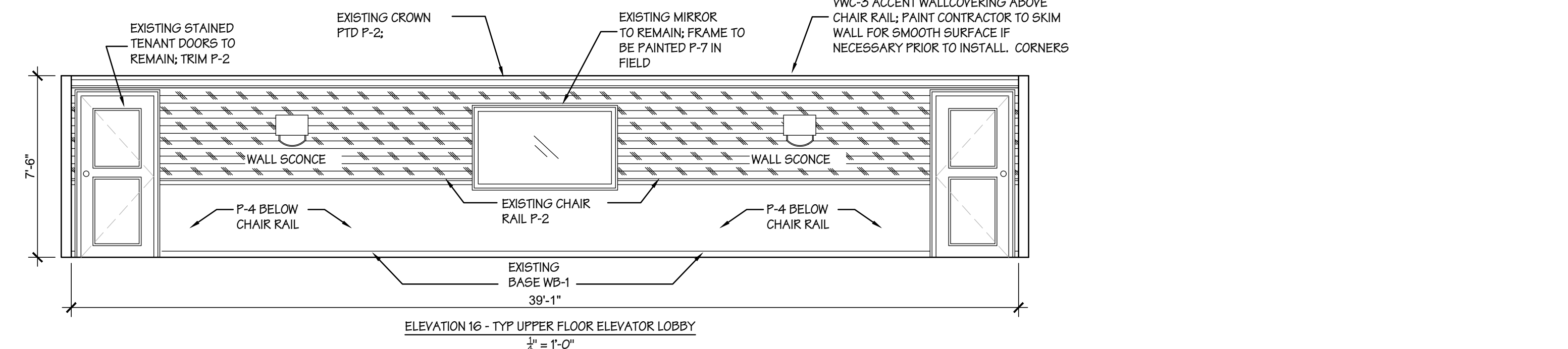
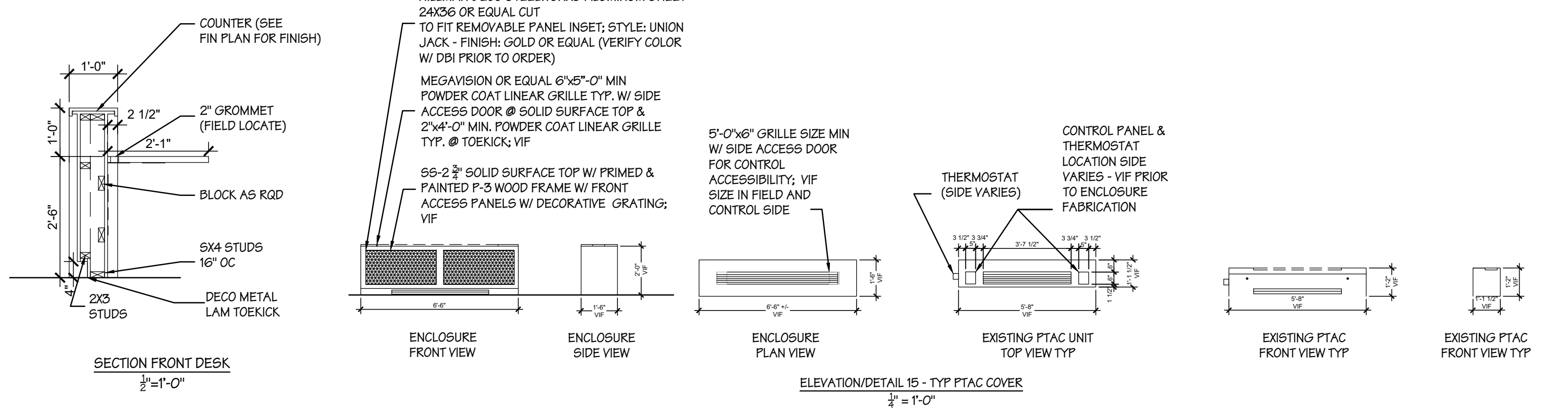
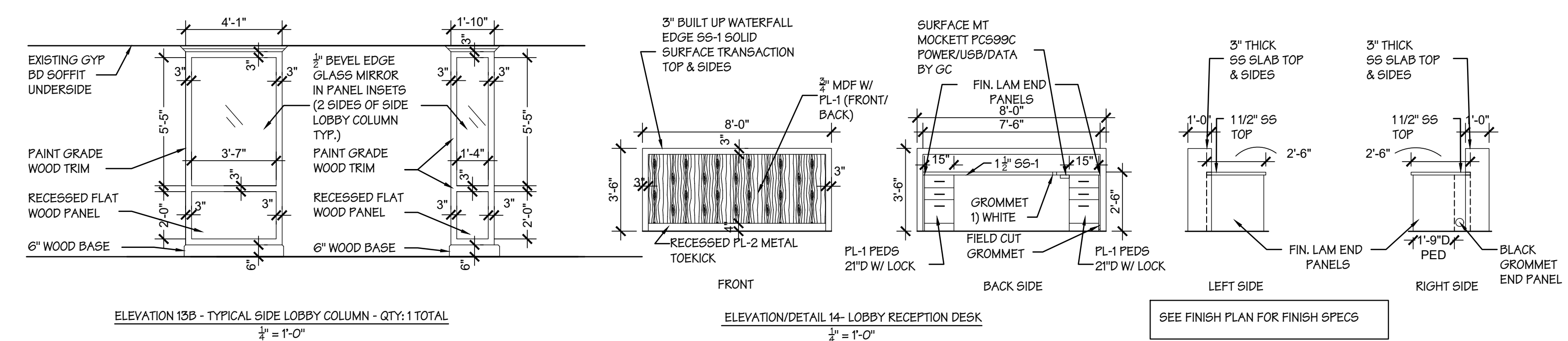
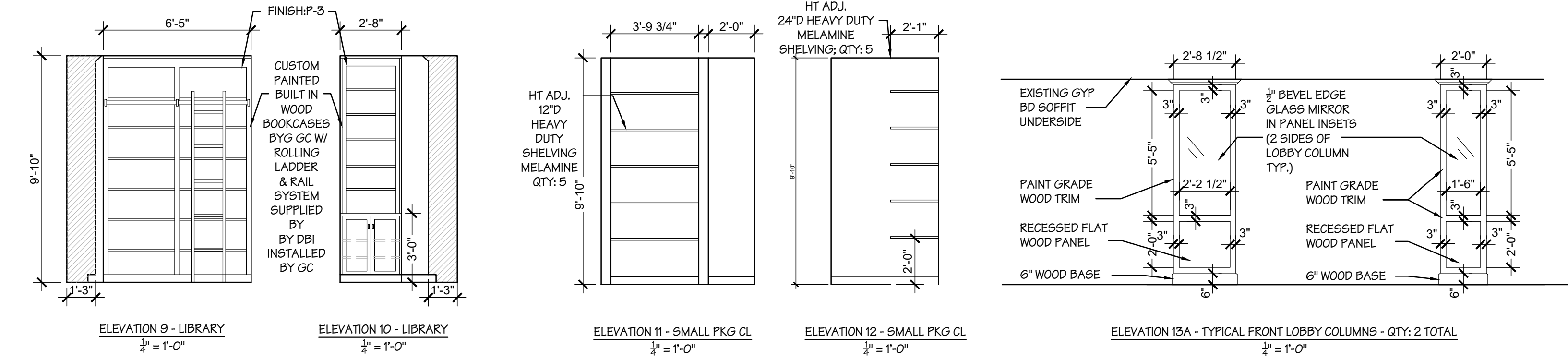
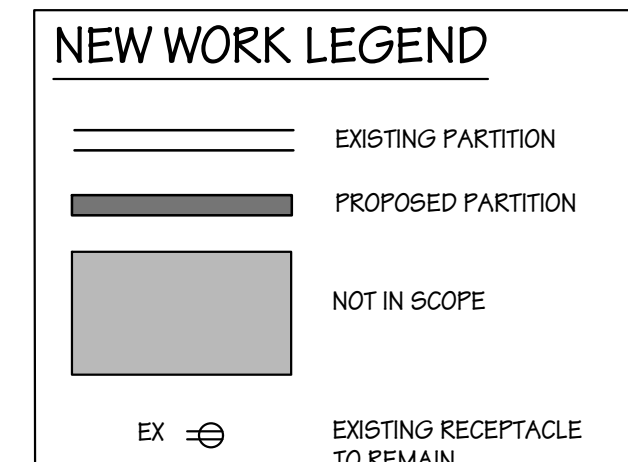
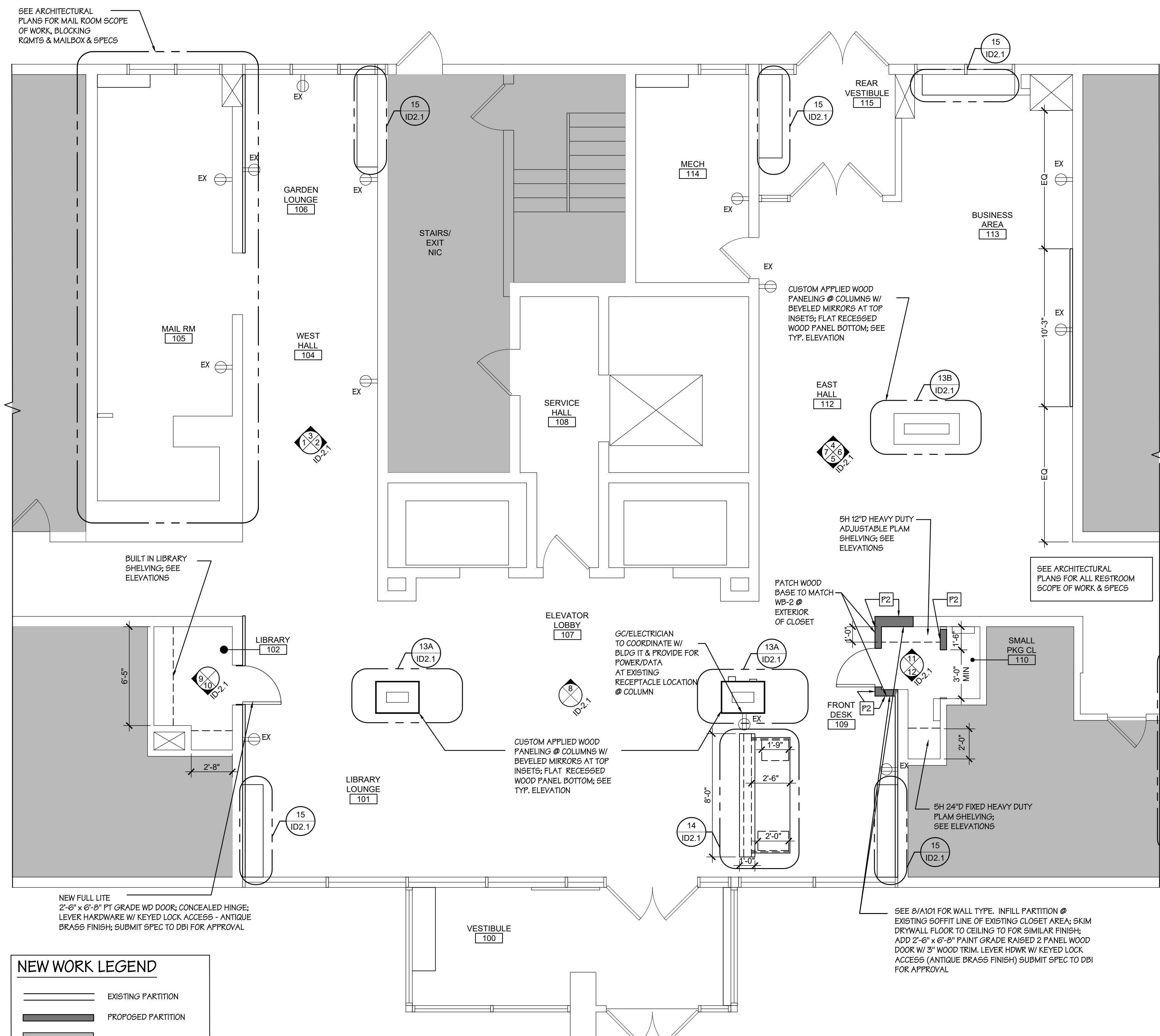
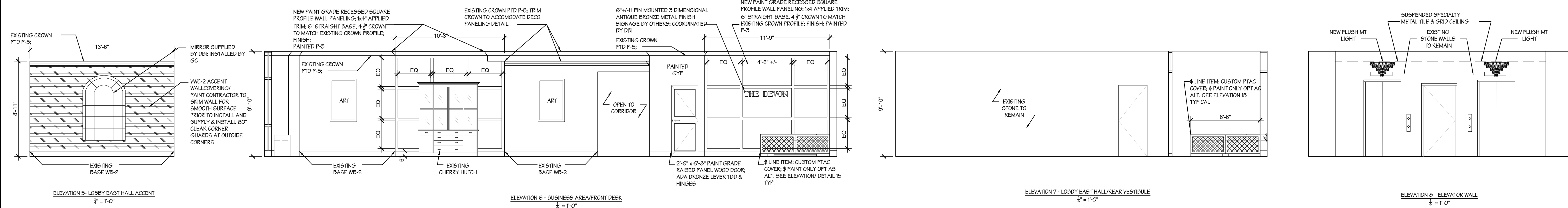
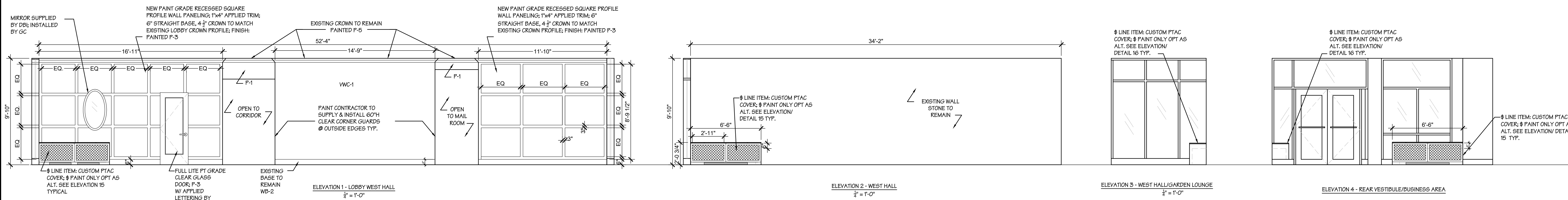
- REMOVE EXISTING CEILING TILE & GRID & PREP FOR NEW SFGALTY METAL GRID/TILE. RETAIN ALL EXISTING RECESSED LIGHTING FOR RE-INSTALLATION WHERE POSSIBLE WITHIN TRAY PER REFLECTED CEILING PLAN; REPLACE WHITE BAFFLES WITH SATIN NICKLE REFLECTOR & SATIN NICKLE TRIM RING; ELECTRICIAN TO PROVIDE LED LAMPS 3000K-3500K; ALL RECESSED CANS INSIDE TRAY TO BE ON DIMMER SWITCH.
- ALL EXISTING RECESSED HALO 6" DOWNLIGHTS TO REMAIN UNO - (SEE RECESSED TRAY EXCEPTION NOTE ID); REPLACE BAFFLES WITH SPECULAR CLEAR REFLECTOR AND WHITE TRIM. ELECTRICIAN TO PROVIDE LED LAMPS 3000K-3500K. ALL RECESSED DOWNLIGHTS TO BE ON DIMMER SWITCH.
- REMOVE EXISTING DECORATIVE SEMI-FLUSH CEILING LIGHT FIXTURE AND PREP FOR 2 NEW SURFACE MOUNTED FIXTURES PER REFLECTED CEILING PLAN LOCATIONS (INSIDE LOBBY CEILING TRAY).
- REMOVE EXISTING WALL SCONCES & PATCH OVER LOCATION.
- REMOVE ALL EXISTING WALL SCONCES & PREP FOR NEW LED SCONCES WHERE NOTED ON REFLECTED CEILING PLAN. ELECTRICIAN IS RESPONSIBLE TO EVALUATE ELECTRICAL PANELS FOR CAPACITY & ADVISE ON SWITCH UPGRADES REQUIRED TO MEET CODE AND/OR ACCOMMODATE LED FIXTURES
- REMOVE EXISTING RECESSED CANS & PREP FOR SURFACE MOUNT CEILING LIGHTS PER REFLECTED CEILING PLAN; PATCH & REPAIR AS NEEDED.
- REMOVE & REPLACE LOBBY EDT SIGNS WITH NEW LED SIGNS. ELECTRICIAN TO PROVIDE FIXTURE RECOMMENDATION.
- REMOVE EXISTING SURFACE MT LIGHTS & REPLACE WITH NEW SURFACE MT FIXTURES PER REFLECTED CEILING PLAN; PATCH & REPAIR WHERE REQUIRED.
- REMOVE EXISTING RECESSED EXTERIOR DOWNLIGHTS & REPLACE WITH NEW LED EXTERIOR KATED RECESSED DOWNLIGHT WITH WHITE TRIM.



2 TYP UPPER FLOOR EXISTING / DEMO REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



1 1ST FLOOR EXISTING / DEMO REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



PROJECT: _____ CLIENT: _____

SUBMITTAL:

NO.	REVISION	DATE:
1	ISSUED FOR OWNER FOR BID	06-15-20
2	WALL TYP ADDED FOR PERMIT	07-15-20



PERMIT SET

THE DEVON CONDOMINIUMS
LOBBY RENOVATION &
2ND FLOOR CORRIDOR TYPICAL

2401 Pennsylvania Avenue
Wilmington, DE 19806

PROJECT:

CLIENT:

SUBMITTAL:

NO.	REVISION	DATE:
2	WALL TYP ADISSUED FOR PERMIT	07-15-20
1	ISSUED FOR OWNER FOR BID	06-15-20

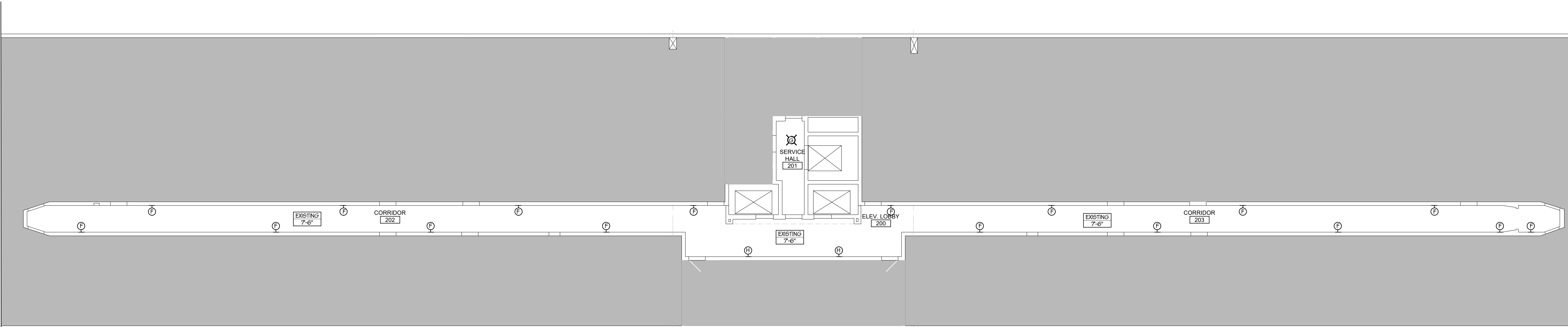
DATE: 06-15-20
DATE ISSUED: 07-15-20
DRAWN BY: JDB
CHECKED BY: JDB
SCALE: AS NOTED

PROJECT NUMBER: DVN040120-1

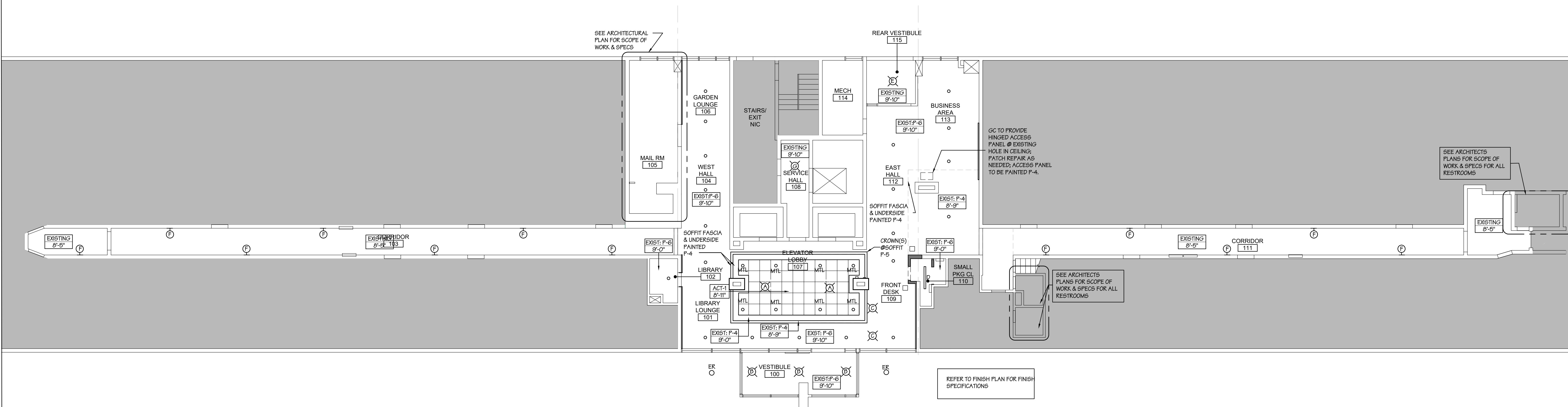
DRAWING TITLE:
REFLECTED CEILING PLANS

SHEET NUMBER:
ID-3.0

REFLECTED CEILING PLAN NOTES	REFLECTED CEILING PLAN SYMBOLS					
<ol style="list-style-type: none"> EXISTING LOBBY CEILING HGT. TO REMAIN AS IS UNLESS OTHERWISE NOTED. ALL EXISTING CORRIDOR ACOUSTICAL GRID AND TILE TO REMAIN AS IS. MAIN LOBBY SUSPENDED CEILING INSET TO BE NEW SPECIALTY TILE AND GRID AS SPECIFIED. GYP SOFFITS TO REMAIN AS IS. ALL SWITCH PLATES & DEVICES TO REMAIN & ARR TO BE TIED INTO WHERE POSSIBLE FOR DIMMERS FOR LOBBY RECESSED CANS. ALL EXISTING EMERGENCY LIGHTING & EGRESS SIGNAGE LOCATIONS TO REMAIN. (SEE EXCEPTIONS IN MAIN LOBBY FOR LED UPGRADE). PROTECT DURING COURSE OF CONSTRUCTION. ELECTRICIAN TO DETERMINE IF ANY NEW LIGHTS SHALL BE ADDED TO COMPLY WITH ELECTRICAL CODE EMERGENCY LIGHTING REQUIREMENTS. 	<p>ACT-1 ACOUSTICAL CEILING TILE MANUFACTURER: ARMSTRONG STYLE: METALWORKS SMOOTH TEXTURE TEGULARS W/ TROUSERS COATING COLOR: GUN METAL GREY 6462 M1 MY 3G SIZE: 2X2 SQUARE TEGULAR GRID: PRELUDE XL 15/16" MY GUN METAL GREY</p>	<p>EXISTING 6" RECESSED HALO DOWNLIGHT HOUSING TO REMAIN UNO ELECTRICIAN TO RECOMMEND & REPLACE BAFFLES WITH SPECULAR CLEAR REFLECTOR. WHITE TRIM AND 3000K-3500K LED LAMPS. ALL DOWNLIGHTS TO BE PUT ON DIMMER SWITCHES</p>	<p>FLUSH MOUNTED FIXTURE MANUFACTURER: ELK LIGHTING MODEL: # PALADIAL 5 LIGHT 15225/3-LED SIZE: 19" D x 19" H; WATTAGE: 4.8 LAMPS INCLUDED: 3) B11 (E12 CANDELABRA BASE) FINISH: CRYSTAL/OIL RUBBED BRONZE</p>	<p>PENDANT FIXTURE MANUFACTURER: FEISS NAME/MODEL: CADENCE P12830A/B/M/B SIZE: 19" D x 19" H; 60" CHAIN LAMPS REQUIRED: 2) MED A19 75W; 120V FINISH: ANTIQUE BRASS/BLACK</p>	<p>SURFACE MOUNTED LED FIXTURE MANUFACTURER: PROGRESS MODEL: # P2250-17450K9 VOLTAGE: 30W SIZE: 17 3/4" X 4 3/4" FINISH: URBAN BRONZE</p>	
	<p>ACT-1 ALT: ACOUSTICAL CEILING TILE MANUFACTURER: ARMSTRONG STYLE: LEDGES II 8013 COLOR: WHITE SIZE: 2X2 TEGULAR GRID: SUPRAFINE XL 1/8" WHITE</p>	<p>EXISTING 6" EXTERIOR RATED RECESSED CAN TO BE REPLACED WITH NEW HALO LED EQUAL. ELECTRICIAN TO RECOMMEND SERIES & WATTAGE. WHITE TRIM. ALUMINUM Baffle, 3000K-3500K LAMPS.</p>	<p>SEMI-FLUSH MOUNTED FIXTURE MANUFACTURER: POSSINI EURO MODEL: MILNE 68E76 (LAMPS PLUS) SIZE: 14" D x 11 3/4" H; 6" D CANOPY FINISH: ANTIQUE BRASS/BLACK LAMPS REQUIRED: 3) 60W E12</p>	<p>SURFACE MOUNTED LED LINEAR FIXTURE MANUFACTURER: ALCO MODEL: 1220-4-6-4 35K-WH SIZE: 41" X 4"W x 4.5"H FINISH: WHITE</p>	<p>LED WALL SCONCE MANUFACTURER: KICHLER MODEL: MONA 2 LIGHT NAT BRASS 43378NDR SIZE: 22"H x 6.5"W x 4"D ADA LAMPS INCLUDED: 2) 59 HAL 50W</p>	
	<p>RCP KEY CEILING FINISH — ACT-1 CEILING HEIGHT — 8'-9"</p>	<p>EXISTING 6" RECESSED HALO DOWNLIGHT HOUSING TO REMAIN IF POSSIBLE. ELECTRICIAN TO REPLACE WHITE TRIM & BAFFLE W/ SATIN NICKLE REFLECTOR AND SATIN NICKLE TRIM. SUPPLY & INSTALL 3000K-3500K LED LAMPS. ALL DOWNLIGHTS TO BE PUT ON DIMMER SWITCHES</p>				



1 UPPER FLOOR TYP REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



1 1ST FLOOR REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"

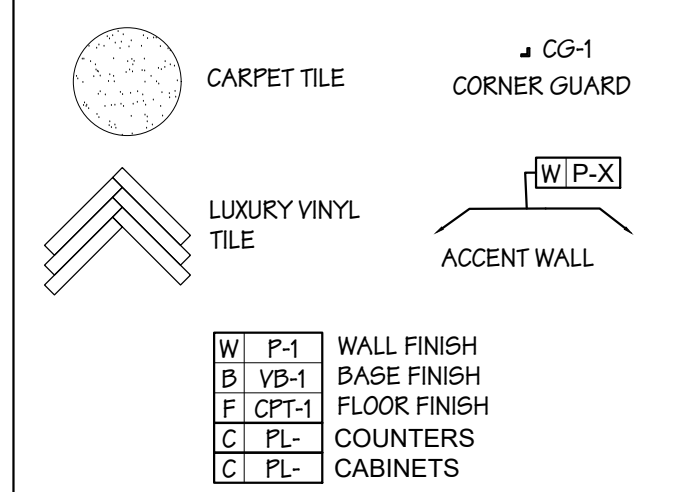
PLANS ARE INTENDED FOR CONCEPTUAL PURPOSES ONLY. GC TO FIELD VERIFY DIMENSIONS; NOT FOR CONSTRUCTION

FINISH GENERAL NOTES

- GENERAL:**
- ALL MANUFACTURER RECOMMENDATIONS MUST BE ADHERED TO FOR MATERIAL STORAGE & HANDLING AND ALL REQUIRED SURFACE PREPARATION & INSTALLATION METHODS.
 - NO PAINTING OR INTERIOR FINISHING SHALL BE DONE UNDER CONDITIONS WHICH WILL JEOPARDIZED THE QUALITY OR APPEARANCE OF SUCH WORK. FLAME SPREAD TO BE CLASS I-O-25. SMOKE DENSITY TO BE LESS THAN 450.
 - ALL CRACKS, HOLES, IMPERFECTIONS IN EXISTING WALLS, PARTITIONS OR GYP BOARD SHALL BE FILLED WITH PATCHING PLASTER AND SMOOTHED OFF TO MATCH ADJOINING SURFACES.
 - INTERIOR GYPSUM BOARD SURFACES SHALL BE WIPED WITH A DAMP CLOTH JUST PRIOR TO APPLICATION OF THE FIRST COAT, IN ORDER TO LAY FLAT ANY NAF WHICH MAY HAVE FORMED IN BANDING PROCESS.
 - P-1 IS DEFINED AS ONE PRIMER COAT AND 2 FINISH COATS.
 - PAINT ANY WALL ACCESS PANELS WHERE THEY OCCUR TO MATCH ADJACENT WALL FINISH.
 - ALL WALLS TO RECEIVE P-1 UNO.
 - ANY EXISTING PAINTED CORRIDOR DOORS ARE TO BE PAINTED P-2. ALL CORRIDOR DOOR TRIM TO BE P-2 UNO. ALL EXISTING STAIN GRADE DOORS TO REMAIN AS IS UNO.
 - ANY HVAC GRILLES, ACCESS PANELS ETC SHALL BE PAINTED TO MATCH ADJACENT WALL SURFACE COLOR.
 - PAINT ANY CEILING ACCESS PANELS WHERE THEY OCCUR TO MATCH ADJACENT CEILING FINISH.
 - CORNER GUARDS NOTED SHALL BE 2" WIDE, CLEAR FINISH AND 60TH MIN. INSTALLED AT TOP OF WALL BASE.
 - PAINT RECEIPTABLE FACELATES P-3 WITHIN AREAS OF WOOD DECORATIVE PANELING ONLY.
- FLOORING:**
- ALL EXISTING WOOD FLOORING THRESHOLDS TO REMAIN IN CORRIDORS UNLESS DAMAGED. REPLACE IF DAMAGED AND STAIN TO MATCH BLDG STANDARD.
 - ALL EXISTING STONE THRESHOLDS AT RESTROOMS TO REMAIN UNLESS DAMAGED. REPLACE IF DAMAGED WITH SIMILAR. SEE ARCHITECT'S PLANS FOR ANY RESTROOM SCOPE OF WORK.
 - SEE ARCHITECT'S PLANS FOR ALL MAILROOM SCOPE OF WORK.

- MILLWORK:**
- ALL MILLWORK MUST HAVE SHOP DRAWINGS & ARE TO BE SUBMITTED FOR APPROVAL BY DBI AND CLIENT.
 - ALL SHELVING SHALL BE ADJUSTABLE UNO.
 - ALL CABINET PULLS SHALL BE SCHAUB AND COMPANY STEAMWORKS 3-3/4 INCH CENTER TO CENTER BAR CABINET PULL #79-982 SUPPLIED BY MILLWORK CONTRACTOR.
 - RECEPTION DESK SHALL HAVE 1) GROMMET (WHITE) IN TOP - SEE PLANS. RE-VERIFY LOCATION IN FIELD WITH OWNER PRIOR TO CUT.
 - RECEPTION DESK SHALL HAVE 1) 2" GROMMET (BLACK) IN DESK PLAM END PANEL AND DRAWER PED AT TOEICK FOR POWER ACCESS. VIF LOCATIONS IN FIELD.
 - ALL RECEPTION DESK DRAWER FEDESTALS SHALL BE 2" DEEP TO ACCOMMODATE ANY WIRING.
 - RECEPTION DESK SHALL HAVE MCKEET PC599C - UNDER DESK POWER DOCK - 3 POWER/USB/DATA; FINISH: WHITE - 6" PLUG IN CORD, SUPPLIED BY GC. FIELD LOCATE PRIOR TO GROMMET CUTS.

FINISH LEGEND



FINISH SPECIFICATIONS

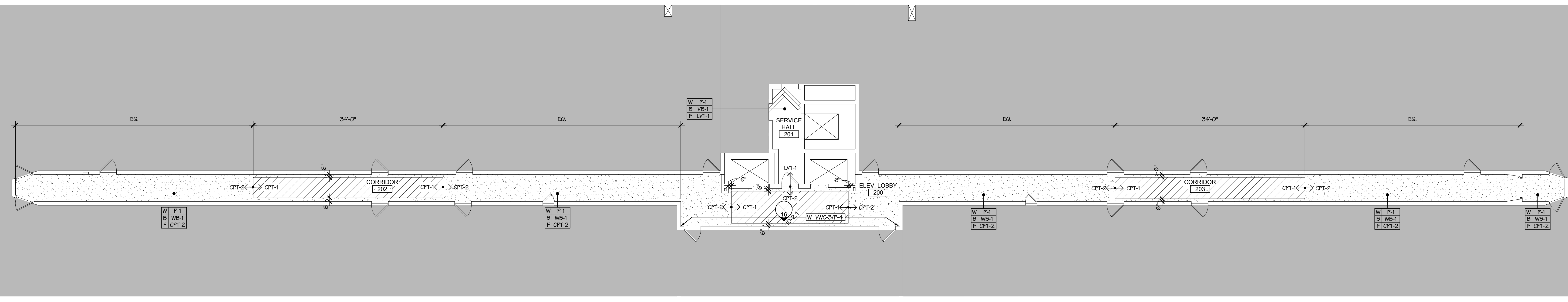
- CARPET:**
- CPT-2: SHAW CONTRACT
STYLE: 81282 HOUNDSTOOTH TILE
COLOR: 7896 MUSLIN
SIZE: 18"X36"; BACKING: ECOWORK TILE
WEIGHT: 28 OZ; GAUGE: 1/10
CONTENT: ECO Q 100% SOLUTION DYED INSTALLATION: BRICK
REF: CHRISTA COLLINS 215 805 8732
- CPT-3: SHAW CONTRACT
STYLE: 81287 TEXTILE TILE - 79516 MUSLIN
SIZE: 18"X36"; BACKING: ECOWORK TILE
WEIGHT: 28 OZ; GAUGE: 1/10
CONTENT: ECO Q 100% SOLUTION DYED INSTALLATION: BRICK
REF: CHRISTA COLLINS 215 805 8732
- LUXURY VINYL TILE:**
- LVT-4: SHAW CONTRACT
STYLE: 06494 SOLITUDE - 48720 MINK
WEAR LAYER: 20 MIL; 8"X48"; GAUGE: 5MM
INSTALLATION: HERRINGBONE
REF: CHRISTA COLLINS 215 805 8732
- WOOD WALL BASE:**
- WB-1: EXISTING 3" WOOD BASE
FINISH: PAINTED P-2
- WB-2: EXISTING LOBBY 6" WOOD BASE
FINISH: PAINTED P-5
- WB-3: NEW 6" WOOD BASE
FINISH: PAINTED P-3
- VINYL BASE:**
- VB-1: KOPPE FINNACLE PLUS WALL BASE;
PROFILE #95 W/ TOE; HEIGHT: 5 1/2"
COLOR: 178 PEPPER
INSTALLATION: COLS PREFERRED
- PAINT:**
- P-1: SHERWIN WILLIAMS (LOBBY/HALL WALLS)
PROMAR ENAMEL OR EQUAL
COLOR: SW6071 POPULAR GRAY (SATIN)
- P-2: SHERWIN WILLIAMS (HALL BASE & TRIM PANEL)
PROMAR ENAMEL OR EQUAL
COLOR: SW7009 PEARLY WHITE (SEMI-GLOSS)
- P-3: BENJAMIN MOORE (LOBBY DECO PANELS)
STYLE: ULTRA SPEC SCUFF-X INTERIOR
EGGSHHELL OR EQUAL
COLOR: AF-555 MONTPELIER
FINISH: MATTE OR EGGSHHELL FINISH PREFERRED
INSTALL: REFER TO MANUFACTURER'S RECOMMENDATIONS FOR PRIMER FOR SMOOTH FLAWLESS APPEARANCE.
- P-4: SHERWIN WILLIAMS (UPPER FLRS - WALL UNDER CHAIR RAIL & LOBBY SOFFIT FACE & UNDERSIDES)
MANUFACTURER: AURA ENVIRONMENTS
PROMAR ENAMEL OR EQUAL
COLOR: SW6072 VEKSAATLE GRAY (SATIN)
- P-5: SHERWIN WILLIAMS (LOBBY BASE & TRIM UNO)
PROMAR ENAMEL OR EQUAL
COLOR: SW7009 PEARLY WHITE (FLAT)
- P-6: SHERWIN WILLIAMS (GYP CEILING UNO)
PROMAR ENAMEL OR EQUAL
COLOR: SW7009 PEARLY WHITE (FLAT)
- P-7: P-6: SHERWIN WILLIAMS (GYP CEILING UNO)
PROMAR ENAMEL OR EQUAL
COLOR: SW7009 PEARLY WHITE (FLAT)
- PLASTIC LAMINATE:**
- PL-1: HIGH PRESSURE LAMINATE (FRONT DESK)
MANUFACTURER: WILSONART
COLOR: XANOU 7845-93 LINEARITY FINISH
REF: BRIAN PARENT - FESSENDEN HALL (609) 238-5812
- PL-2: HIGH PRESSURE LAMINATE (ELEVATOR CAB)
MANUFACTURER: ARBORITE
COLOR: CLASSIC ARTISAN WALNUT W2022AW
REF: BRIAN PARENT - FESSENDEN HALL (609) 238-5812
- PL-3: DECOMETAL METAL LAMINATE (DESK TOEICK)
MANUFACTURER: FORMICA
COLOR: M8547 OXYBRONZE
REF: KATE EIMER (215)531-4214
- SOLID SURFACE:**
- SS-1: SOLID SURFACE SHEET - WILSONART
COLOR: IRON FALLS 922865
REF: BRIAN PARENT FESSENDEN HALL 609-238-5812
- SS-2: SOLID SURFACE SHEET - CAMBRIA
COLOR: DARON
REF: LORI ORRKEN 982-944-1676
- VINYL WALLCOVERING:**
- WVC-1: (MURAL SUPPLY & INSTALLATION BY DBI INTERIORS - NOT IN GC SCOPE)
MANUFACTURER: AREA ENVIRONMENTS
TEL: ED-5 EAST HENNEPIN
SIZE: PER FULL WALL DIMENSION
REF: VITA DEBELLIS 7(215) 567-3573
- WVC-2: MANUFACTURER: MOMENTUM
STYLE: AURA 166-367 NIGHT WATCHMAN
SIZE: 52.5"4"; WEIGHT: 20 OZ
CONTENT: TYPE II 100% VINYL
BACKING: NON-WOVEN
INSTALL: REVERSE HANG/DROP MATCH
REPEAT: 5.3" HORIZONTAL, 24" VERTICAL
REF: JANET CACKOVIC 610-751-9369
- WVC-3: MANUFACTURER: MOMENTUM
STYLE: AURA 166-367 SILVERADO
SIZE: 52.5"4"; WEIGHT: 20 OZ
CONTENT: TYPE II 100% VINYL
BACKING: NON-WOVEN
INSTALL: REVERSE HANG/DROP MATCH
REPEAT: 5.3" HORIZONTAL, 24" VERTICAL
REF: JANET CACKOVIC 610-751-9369
- SPECIALTY METAL CEILING TILE (LOBBY INSET)**
(SEE RCP FOR ADDITIONAL INFORMATION)
ACT-1: ACOUSTICAL CEILING TILE
MANUFACTURER: ARMSTRONG
STYLE: METALWORKS SMOOTH TEXTURE TEGULAR
W/ TROUGuard COATING & ACOUSTICAL FLEECE
COLOR: GUN METAL GREY 6462 M1 MY 3G
SIZE: 2'2 SQUARE TEGULAR
GRID: PELLUDE XL 1518" GUN METAL GREY (M1)

FINISH SCHEDULE

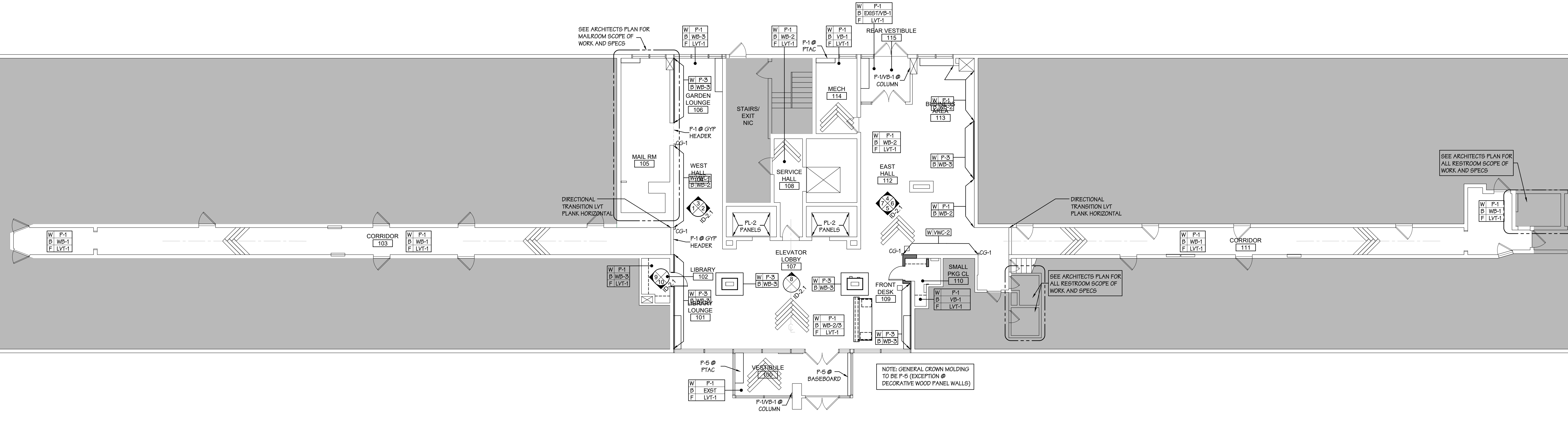
RM NO.	ROOM NAME	FLOOR		WALL				DOORS/TRIM		MILLWORK/CASEWORK		CEILING FINISH	CEILING NOTE	NOTES	
		FLOOR FINISH	FLOOR BASE	NORTH	EAST	SOUTH	WEST	DOOR FINISH	TRIM FINISH	COUNTERS	CABINETS				
1ST FLOOR															
100	VESTIBULE	LVT-1	EXIST/VB-1	-	-	-	-	-	-	-	-	EXST	P-6	P-1 @ COLUMN; P-5 AT PTAC UNIT/BASEBOARD	
101	LIBRARY LOUNGE	LVT-1	WB-3	-	-	-	P-3	P-3	P-3	**	**	EXST	P-6	**SEE ELEVATIONS FOR CARPENTRY	
102	LIBRARY	LVT-1	WB-3	P-1	P-1	P-1	P-1	P-3	P-3	**	**	EXST	P-6	**SEE ELEVATIONS FOR CARPENTRY	
103	CORRIDOR	LVT-1	WB-1	P-1	P-1	P-1	P-1	EXST STAIN	P-2	-	-	EXST	-	-	
104	WEST HALL	LVT-1	WB-2/WB-3	-	-	-	MURAL	-	-	-	-	EXST	P-6	* MAIN BASE WB-2; WB-3 @ DECO WALLS	
105	MAIL ROOM	SEE ARCHITECT'S PLANS FOR MAILROOM SCOPE OF WORK, SPECS AND FINISHES													
106	GARDEN LOUNGE	LVT-1	WB-3	-	-	-	P-3	-	-	**	**	EXST	P-6	**SEE ELEVATIONS FOR CARPENTRY	
107	ELEVATOR LOBBY	LVT-1	WB-3	-	-	-	-	-	-	-	-	ACT-1	P-4/P-6	P-3 @ COLUMN DETAILS/PL-2 ELEV PANELS	
108	SERVICE HALL	LVT-1	WB-2	P-1	P-1	P-1	P-1	P-2	P-2	-	-	EXST	P-6	-	
109	FRONT DESK	LVT-1	WB-2/WB-3	P-1	P-1/P-3	-	-	P-5	P-5	66-1	PL-V3	**	EXST	P-6	**SEE ELEVATIONS FOR CARPENTRY
110	SMALL PKG CL	LVT-1	VB-1	P-1	P-1	P-1	P-1	P-2	P-2	-	-	EXST	P-6	-	
111	CORRIDOR	LVT-1	WB-1	P-1	P-1	P-1	P-1	EXST STAIN	P-2	-	-	EXST	-	-	
112	EAST HALL	LVT-1	-	-	-	-	-	-	-	-	-	EXST	P-6	-	
113	BUSINESS AREA	LVT-1	WB-2/WB-3	P-1	P-1/P-3	P-1	P-1	-	-	**	**	EXST	P-4/P-6	P-3 @ COLUMN**SEE ELEVATIONS FOR CARPENTRY	
114	MECHANICAL	LVT-1	VB-1	-	-	-	-	-	-	-	-	EXST	-	-	
115	REAR VESTIBULE	LVT-1	EXIST/VB-1	-	P-1	-	-	-	-	**	**	EXST	P-6	P-1 COLUMN**SEE ELEVATIONS; CARPENTRY	
2ND FLOOR															
200	ELEVATOR LOBBY	CPT-1 / 2	VB-1	P-1	P-1	WVC-2/P-4	P-1	EXST STAIN	P-2	-	-	EXST	-	-	
201	SERVICE HALL	LVT-1	VB-1	P-1	P-1	P-1	P-1	P-2	P-2	-	-	EXST	-	-	
202	CORRIDOR	CPT-1 / 2	EXISTING	P-1	P-1	P-1	P-1	EXST STAIN	P-2	-	-	EXST	-	-	
203	CORRIDOR	CPT-1 / 2	EXISTING	P-1	P-1	P-1	P-1	EXST STAIN	P-2	-	-	EXST	-	-	

NOTE: ANY METAL DOORS OR ACCESS PANELS IN CORRIDORS ARE TO BE PAINTED OUT P-2

2 TYPICAL UPPER FLOOR FINISH PLAN
SCALE: 1/8" = 1'-0"



1 FINISH PLAN
SCALE: 1/8" = 1'-0"



Office Location:
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Phone: 302-540-9961
E-mail: Jessica @dannellybanksid.com

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SEAL:



PERMIT SET

THE DEVON CONDOMINIUMS
LOBBY RENOVATION &
2ND FLOOR CORRIDOR TYPICAL

2401 Pennsylvania Avenue
Wilmington, DE 19806

PROJECT:

CLIENT:

SUBMITTAL:

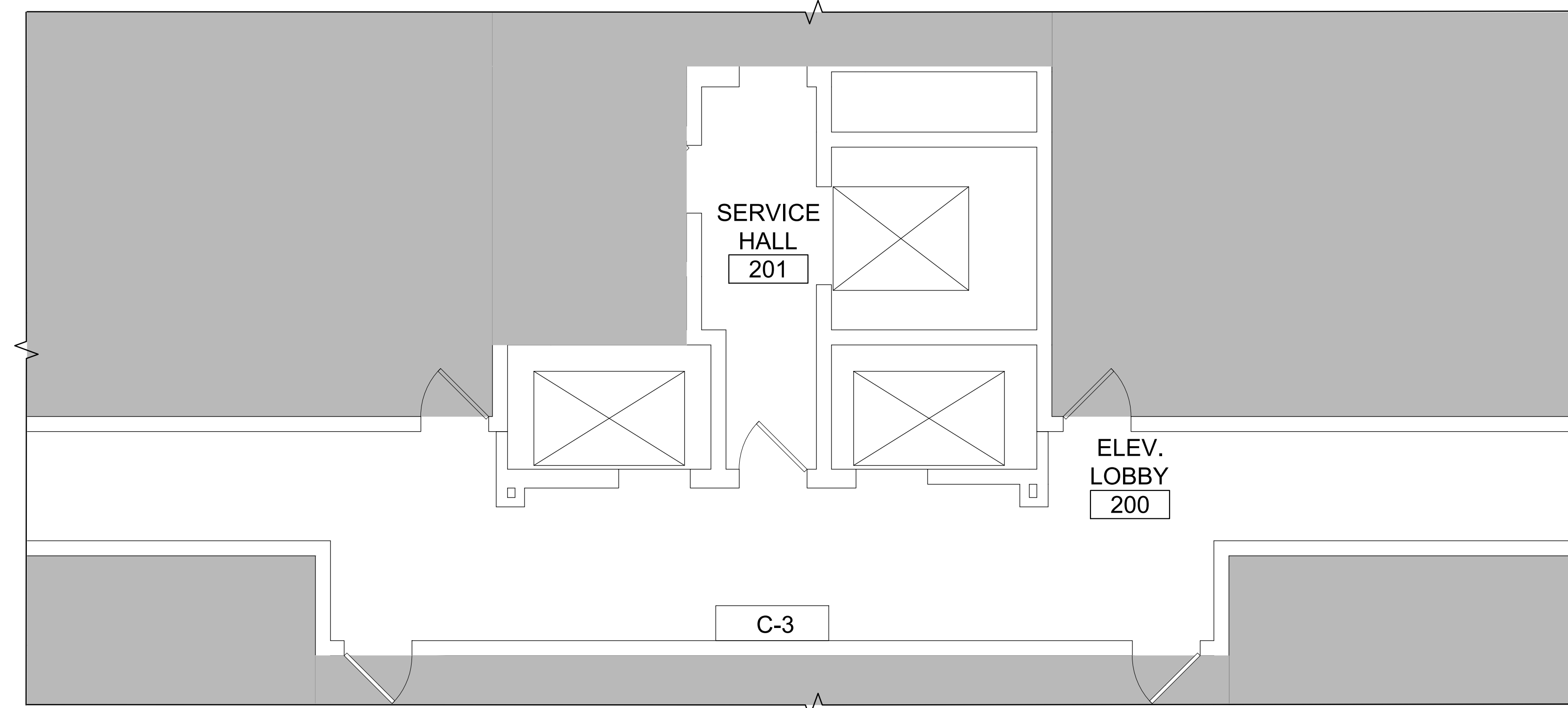
NO.	REVISION	DATE:
2	WALL TYP ADISSUED FOR PERMIT	07-15-20
1	ISSUED FOR OWNER FOR BID	06-15-20

DATE: 06-15-20
DATE ISSUED: 07-15-20
DRAWN BY: JDB
CHECKED BY: JDB
SCALE: AS NOTED

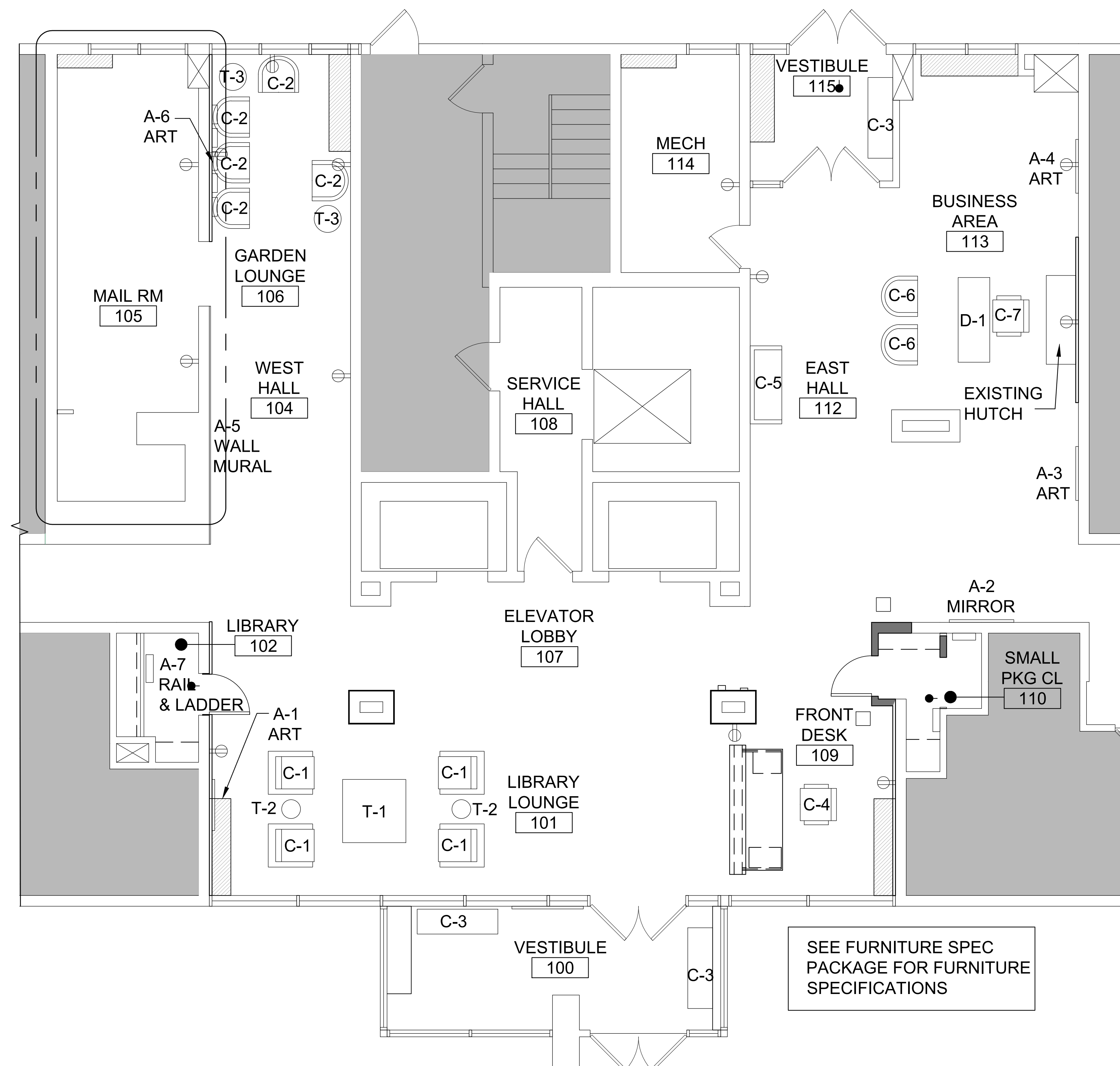
PROJECT NUMBER: DVN040120-1

DRAWING TITLE: FINISH PLANS

SHEET NUMBER: ID-4.0



2 UPPER FLOOR TYP ENLARGED FURNITURE PLAN
SCALE: 1/4" = 1'-0"



1 1ST FLOOR ENLARGED FURNITURE PLAN
SCALE: 1/4" = 1'-0"

SEE FURNITURE SPEC PACKAGE FOR FURNITURE SPECIFICATIONS



NO.	REVISION	DATE
2	WALL TYP ADISSUED FOR PERMIT	07-15-20
1	ISSUED FOR OWNER FOR BID	06-15-20

DATE:	06-15-20
DATE ISSUED:	07-15-20
DRAWN BY:	JDB
CHECKED BY:	JDB
SCALE:	AS NOTED